

- SPRING GARDEN -

RESIDENTIAL BUILDING

MIAMI, FL 33136

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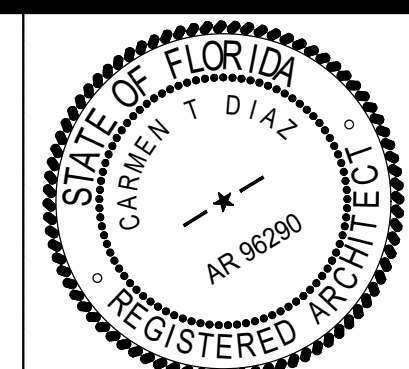
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SHEET No:

A-00

WAIVER SET

WATERFRONT:

WATERFRONT:
THE AREA OF A PROPERTY THAT FRONTS A WATERWAY OR WATERBODY AND IS IMPROVED TO PRESERVE THE CITY'S NATURAL SHORELINE AND TO GUARANTEE OPEN SPACE ALONG THE WATER'S EDGE.

WATERBODY:
ANY BODY OF WATER SEPARATED BY A SALINITY DAM FROM BISCAYNE BAY INCLUDING, BUT NOT LIMITED TO, COMFORT CANAL, LITTLE RIVER, BLUE LAGOON, AND THE LIKE. PROPERTIES ALONG A WATERBODY HAVE BEEN DEPICTED IN ARTICLE 3, DIAGRAM 1, TITLED "WATERWAYS & WATERBODIES WITH WATERFRONT PROPERTIES".

WATERWAY:
BISCAYNE BAY AND ANY BODY OF WATER NAVIGABLE TO BISCAYNE BAY; MIAMI RIVER AND ITS TRIBUTARIES FROM BISCAYNE BAY TO SALINITY DAMS OR TERMINI, WHICHEVER COMES FIRST; AND THE LITTLE RIVER FROM BISCAYNE BAY TO THE SALINITY DAM. PROPERTIES ALONG A WATERWAY HAVE BEEN DEPICTED IN ARTICLE 3, DIAGRAM 1, TITLED "WATERWAYS & WATERBODIES WITH WATERFRONT PROPERTIES".

THIS PROJECT IS FACING A WATERBODY WHICH IS NOT NAVIGABLE TO BISCAYNE BAY DUE TO A PHYSICAL OBSTRUCTIONS (STREET BRIDGES) ON NW 1st ST AT SOUTH EAST OF LOT AND ALSO AT NORTHWEST ON DOLPHIN EXPRESSWAY. FOR THIS REASON WE WILL CONSIDER THIS WATERFRONT AS A **WATERBODY**.

UNIT BREAKDOWN - TOTAL - 430 DU							
FLOOR/UNIT TYPE	STUDIO	1B-1B UNIT	1B-1B-D UNIT	2B-2B UNIT	2B-2B-D UNIT	3B-2B UNIT	TOTAL UNITS
GROUND FLOOR	27	1	5				33
SECOND FLOOR	19	1	2	5		1	28
THIRD FLOOR	1	1		1			4
4TH FLOOR	1	1		1		1	4
5TH FLOOR	18	6	21	7	5	3	60
6TH FLOOR	18	6	21	7	5	3	60
7TH FLOOR	18	6	21	7	5	3	60
8TH FLOOR	13	8	17	6	3	3	50
9TH FLOOR	7	7	10	2	1		27
10TH FLOOR	11	8	12	2	1		34
11TH FLOOR	11	8	12	2	1		34
12TH FLOOR	11	8	12	2	1		34
TOTAL UNITS	155	61	133	42	22	15	428
				212			
				49.53%			

- PARKING BREAKDOWN -

LEVEL	REG. PS (8.5' X 18')	TANDEM PS* (2)(8.5' X 18')	HC PS (17' X 18')	STREET PARKING**	TOTAL PS
GROUND FLOOR	19		3	19	41
INTERMEDIATE LEVEL	48	10	2		60
SECOND FLOOR	40	80	2		122
THIRD FLOOR	65	130	4		199 ***
FOURTH FLOOR	65	130	4		199 ***
TOTAL PS	237	350	15	19	621
TOTAL PARKING STALLS	237	175	15	19	446

* EVERY TANDEM PARKING SPACE WILL BE ASSIGNED TO THE SAME UNIT
** STREET PARKING SPACES WILL BE VERIFY BY MPA
*** EV PS WILL BE LOCATED ON 3RD AND 4TH FL TO COMPLETE A TOTAL OF 138 EV PS

ZONING ANALYSIS

PROJECT NAME	1010 SPRING GARDEN		
ZONING DISTRICT	"T6-8-O" URBAN CORE TRANSECT ZONE		
PROPERTY INFORMATION			
PROPERTY ADDRESS:	FOLIO No:		
1010 SPRING GARDEN RD, MIAMI FL 33136	0131350280060		
	0131350280061		
	0131350070010		
	0131350070020		
FLOOD INFORMATION:	FLOOD ZONE: AE		
	BASE ELEV.= 9.0'		
	FINISHED FLOOR ELEV. = 10.0' NGVD		
	HIGHEST CROWN OF ROAD= 5.69'		
	0131350070060		
	0131350070070		
	0131350070071		

BUILDING DISPOSITION - T6-8-O

LOT OCCUPATION	ALLOWED	PROPOSED	
a-LOT AREA:	5,000 SF. MIN. ; 40,000 SF MAX.	127,855 SF	2,9351 ac
		(BY EXCEPTION AS PER 5.6.1.)	
b-LOT WIDTH: (LF)	50 FT. MIN.	±876.37 LF	
	1 TO 8 STORIES MAX. 80 %	102,284	68,300 SF 53.42 %
c-LOT COVERAGE: (SF)	ABOVE 8TH STORY 15,000 SF MAX	15,000 SF	TOWER 1: 14,970 SF TOWER 2: 13,246 SF
d-FLOOR LOT RATIO (FLR):	5 / 25 % ADD. PUB. BENEF.		
	5x127,855	639,275 SF	575,252 SF
	+ 25%	799,094 SF	
e-FRONTAGE @ FRONT SETBACK:(LF)	70 % MIN.		
PRIMARY FRONT-NW 8TH ST	361'-8" x 0.7	253'-2"	268'-2" 74.1 %
f-OPEN SPACE: (SF)	10 % LOT AREA MIN.	12,786 SF	56,605 SF 44.27%
g-DENSITY:	150 DU/AC MAX.	440 DU	428 DU

BUILDING SETBACK

	ALLOWED	PROPOSED
a. PRINCIPAL FRONT - NW 8TH ST	10 FT. MIN. 20 FT. MIN. ABOVE 8TH STORY	10 FT. 20 FT.
a. PRINCIPAL FRONTAGE - WATER FRONT	25 FT. MIN.	13'-5" SETBACK REDUCTION BY WAIVER. SEE SHEETS A-101.6 TO A-101.9
b. SECONDARY FRONT - SPRING GARDEN RD.	10 FT. MIN. 20 FT. MIN. ABOVE 8TH STORY	10 FT. 20 FT.
c. SIDE	25% OF WATER FRONTAGE= 231'-11"	232'-8"
d. REAR	0 FT.	N/A

BUILDING CONFIGURATION

FRONTAGE	ALLOWED	PROPOSED
a. COMMON LAWN	PROHIBITED	NO
b. PORCH & FENCE	PROHIBITED	NO
c. TERRACE OR L.C.	PROHIBITED	NO
d. FORECOURT	PERMITTED	YES
e. STOOP	PERMITTED	YES
f. SHOPFRONT	PERMITTED (T6-O-L & T6-8-O ONLY)	NO
g. GALLERY	PERMITTED BY SPECIAL AREA PLAN	NO
h. ARCADE	PERMITTED BY SPECIAL AREA PLAN	NO

BUILDING HEIGHT

	ALLOWED	PROPOSED
a. MIN. HEIGHT	2 STORIES	12 STORIES
b. MAX. HEIGHT	8 STORIES	(4 BENEFIT STORIES REQUESTED= 104,686 SF)
b. MAX. BENEFIT HEIGHT	4 STORIES	

- FLOOR LOT RATIO CALCULATION -

LEVEL	FLOOR AREA		
GROUND FLOOR		52,816 SF	
INTERMEDIATE LEVEL		25,650 SF	
SECOND FLOOR		61,530 SF	
THIRD FLOOR		65,635 SF	
FOURTH FLOOR		65,635 SF	
FIFTH FLOOR		49,825 SF	
SIXTH FLOOR		49,825 SF	
SEVENTH FLOOR		49,825 SF	
EIGHTH FLOOR		49,825 SF	
	TOWER 1 -FLR-	TOWER 2 -FLR-	
NINTH FLOOR	13,940 SF	12,290 SF	26,230 SF
TENTH FLOOR	13,862 SF	12,290 SF	26,152 SF
ELEVENTH FLOOR	13,862 SF	12,290 SF	26,152 SF
TWELFTH FLOOR	13,862 SF	12,290 SF	26,152 SF
			104,686 SF
TOTAL FLOOR AREA			575,252 SF

- PARKING CALCULATION -

FUNCTION	REQUIREMENT	UNITS COUNT	FACTOR	MIN. PS REQUIRED	PROPOSED
RESIDENTIAL DWELLING UNIT	1.5 PS PER UNIT	428	1.5	642.00	
VISITOR PS	1VISITOR PS / PER 10 DU	428	0.10	42.80	
RETAIL (SF)	3 PS / 1,000 SF	1,200	3.60		
SHARED PARKING STANDARD	1.2		3.00	3.00	
HC PS REQUIRED: (INCLUDED IN TOTAL)					
RESIDENTIAL	2% OF TOTAL PS REQ.	642.00		12.84	
NON-RESIDENTIAL	26 TO 50 PS = 2			2	
TOTAL PARKING REQUIRED				688	
10% REDUCTION BY WAIVER	688 PS - 68.8 (10%)	688	0.1	619	621
BICYCLE RACK REQUIRED	1 BICYCLE RACK SPACE / 20 PS REQ.	687.80	20	34.39	35
EV PARKING REQUIRED	20% OF TOTAL PS REQ.	688	0.2	138	138 EV PS
LOADING BERTH REQUIRED					
(1) 12'x35' PER FIRST 100 DU	(1) 12'x35'			(2) 10'x20' BY WAIVER	
(1) 10'x20' PER EACH ADD.100 DU	(4) 10'x20'			(4) 10'x20'	
				TOTAL : (6) 10'x20'	

LEGAL DESCRIPTION:

LOT 1, OF FIRST ADDITION TO SUNNBROOK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOK 43, AT PAGE 5, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
PARCEL IDENTIFICATION NUMBER: 01-3135-007-0010; AND

LOT 2, AND THE EAST 5 FEET OF LOT 3, OF FIRST ADDITION TO SUNNBROOK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 43, AT PAGE 5, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
PARCEL IDENTIFICATION NUMBER: 01-3135-007-0020; AND

LOT 3, LESS THE SOUTHEASTERLY 5 FEET THEREOF, OF FIRST ADDITION TO SUNNBROOK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 43, AT PAGE 5, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
PARCEL IDENTIFICATION NUMBER: 01-3135-007-0030; AND

LOTS 6, 7 AND 8, LESS THE NORTHEASTERLY 5 FEET AND LESS THE SOUTHEASTERLY 8.5 FEET THEREOF, IN BLOCK 6, OF CORRECTED PLAT OF BLOCK 6 OF SPRING GARDEN, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, AT PAGE 16, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
PARCEL IDENTIFICATION NUMBER: 01-3135-028-0060; AND

LOTS 9 AND 10, LESS THE NORTHEASTERLY 5 FEET THEREOF, IN BLOCK 6, OF CORRECTED PLAT OF BLOCK 6 OF SPRING GARDEN, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, AT PAGE 16, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
PARCEL IDENTIFICATION NUMBER: 01-3135-028

LOTS 4, 5 AND 6 OF FIRST ADDITION TO SUNNBROOK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 43, PAGE(S) 5, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA
PARCEL IDENTIFICATION NUMBER: 03-3135-007-0040.

LOT 7 OF FIRST ADDITION TO SUNNBROOK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 43, PAGE 5, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
PARCEL IDENTIFICATION NUMBER: 01-3135-007-0050

LOT 8 OF FIRST ADDITION TO SUNNBROOK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 43, PAGE 5, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
PARCEL IDENTIFICATION NUMBER: 01-3135-007-0060

THE EASTERLY 56 FEET OF LOT 9 (ALSO KNOWN AS LOT 9 LESS THE NORTHWESTERLY 7 FEET THEREOF) OF FIRST ADDITION TO SUNNBROOK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 43, PAGE 5, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
PARCEL IDENTIFICATION NUMBER: 01-3135-007-0070

LOT 9, LESS THE EASTERLY 56 FEET THEREOF AND ALL OF LOTS 10 AND 11, OF FIRST ADDITION TO SUNNBROOK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 43, PAGE 5, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LESS AND EXCEPT ALL OF LOT 11 AND THAT PART OF LOT 10, DESCRIBED AS FOLLOWS: BEGIN ON THE NORTHEASTERLY LINE OF SAID LOT 10 AT A POINT 20.0 FEET NORTH 51 DEGREES 41 MINUTES 43 SECONDS WEST FROM THE MOST EASTERLY CORNER OF SAID LOT 10; THENCE NORTH 51 DEGREES 41 MINUTES 43 SECONDS WEST 102.0 FEET ALONG THE NORTHEASTERLY LINE OF SAID LOTS 9 AND 10 AND 11 TO THE MOST NORTHERLY CORNER OF SAID LOT 11; THENCE SOUTH 38 DEGREES 18 MINUTES 17 SECONDS WEST 109.09 FEET ALONG THE NORTHWESTERLY LINE OF SAID LOT 11 TO THE MOST WESTERLY CORNER THEREOF; THENCE SOUTH 50 DEGREES 33 MINUTES 32 SECONDS EAST, 64.47 FEET ALONG THE SOUTHWESTERLY LINE OF SAID LOTS 11 AND 10; THENCE NORTH 57 DEGREES 05 MINUTES 22 SECONDS EAST, 116.58 FEET TO THE POINT OF BEGINNING. A/K/A

LOT 9 LESS THE EASTERLY 56 FEET AND PART OF LOT 10, DESCRIBED AS FOLLOWS: BEGIN AT THE MOST EASTERLY CORNER OF LOT 10, THENCE 51 DEGREES WEST 20 FEET; THENCE SOUTH 57 DEGREES WEST 116.58 FEET; THENCE SOUTHEASTERLY 57.54 FEET; THENCE NORTHEASTERLY 111.51 FEET TO THE POINT OF BEGINNING, OF FIRST ADDITION TO SUNNBROOK, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 43, PAGE 5, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.
PARCEL IDENTIFICATION NUMBER: 01-3135-007-0071

THE COMBINED ABOVE DESCRIBED LANDS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOTS 6, 7 AND 8, LESS THE NORTHEASTERLY 5 FEET AND LESS THE SOUTHEASTERLY 8.5 FEET THEREOF, IN BLOCK 6, OF CORRECTED PLAT OF BLOCK 6 OF SPRING GARDEN, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, AT PAGE 16, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LOTS 9 AND 10, LESS THE NORTHEASTERLY 5 FEET THEREOF, IN BLOCK 6, OF CORRECTED PLAT OF BLOCK 6 OF SPRING GARDEN, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, AT PAGE 16, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LOT 1 THROUGH 11, OF FIRST ADDITION TO SUNNBROOK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 43, PAGE 5, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LESS AND EXCEPT ALL OF LOT 11 AND THAT PART OF LOT 10, DESCRIBED AS FOLLOWS: BEGIN ON THE NORTHEASTERLY LINE OF SAID LOT 10 AT A POINT 20.0 FEET NORTH 51 DEGREES 41 MINUTES 43 SECONDS WEST FROM THE MOST EASTERLY CORNER OF SAID LOT 10; THENCE NORTH 51 DEGREES 41 MINUTES 43 SECONDS WEST 102.0 FEET ALONG THE NORTHEASTERLY LINE OF SAID LOTS 10 AND 11 TO THE MOST NORTHERLY CORNER OF SAID LOT 11; THENCE SOUTH 38 DEGREES 18 MINUTES 17 SECONDS WEST 109.09 FEET ALONG THE NORTHWESTERLY LINE OF SAID LOT 11 TO THE MOST WESTERLY CORNER THEREOF; THENCE SOUTH 50 DEGREES 33 MINUTES 32 SECONDS EAST, 64.47 FEET ALONG THE SOUTHWESTERLY LINE OF SAID LOTS 11 AND 10; THENCE NORTH 57 DEGREES 05 MINUTES 22 SECONDS EAST, 116.58 FEET TO THE POINT OF BEGINNING.

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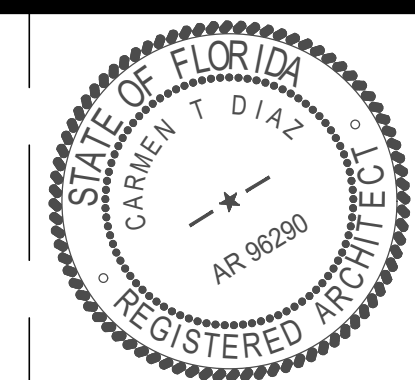
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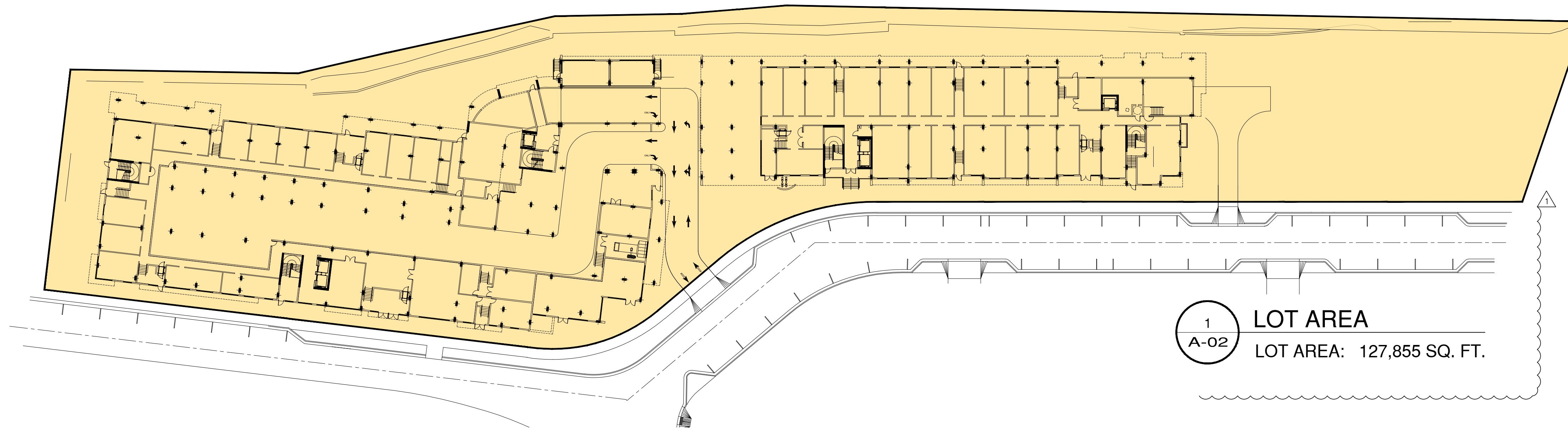
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SHEET No:

A-01
WAIVER SET

ZONING ANALYSIS



1
A-02 **LOT AREA**
LOT AREA: 127,855 SQ. FT.



2
A-02 **OPEN SPACE**
OPEN SPACE: 56,605 SQ. FT.
(44.27%)

LEGEND
 LOT AREA
 LOT COVERAGE
 OPEN SPACE

SUSTAINABILITY:
 BUILDING REQUIRED CERTIFICATION BY THE USGBC AND LEED STANDARDS. THE BUILDING CURRENTLY HAS MORE THAN 50,000 SQ. FT OF HABITABLE ROOMS AND HABITABLE AREAS.
 HABITABLE SPACES AND HABITABLE ROOMS WERE CALCULATED BASED ON THE MIAMI 21 ZONING CODE DEFINITIONS.
 THE AREA DIAGRAMS SHOWN ON THIS PAGE SHOW THE AREAS TAKEN INTO ACCOUNT FOR CALCULATIONS.

HABITABLE ROOMS: ROOMS DESIGNED AND USED FOR LIVING, SLEEPING, EATING, COOKING OR WORKING OR COMBINATIONS THEREOF. BATHROOMS, TOILET COMPARTMENTS, CLOSETS, HALLS, STORAGE ROOMS, LAUNDRY AND UTILITY SPACES, BASEMENT RECREATION ROOMS, AND SIMILAR AREAS ARE NOT CONSIDERED HABITABLE ROOMS

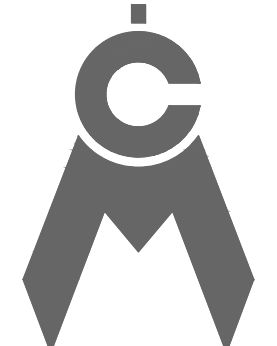
HABITABLE SPACE: BUILDING SPACE WHICH USE INVOLVES HUMAN PRESENCE WITH DIRECT VIEW OF THE ENFRONTING STREETS OR PUBLIC OR PRIVATE OPEN SPACE, EXCLUDING PARKING GARAGES, SELF-SERVICE STORAGE FACILITIES, WAREHOUSES AND DISPLAY WINDOWS SEPARATED FROM RETAIL ACTIVITY.

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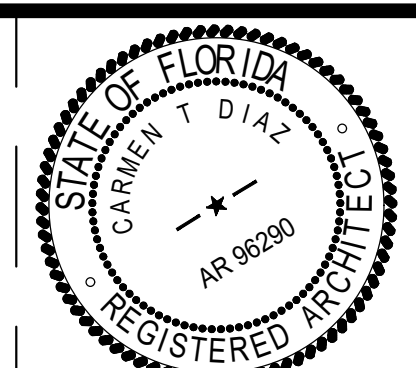
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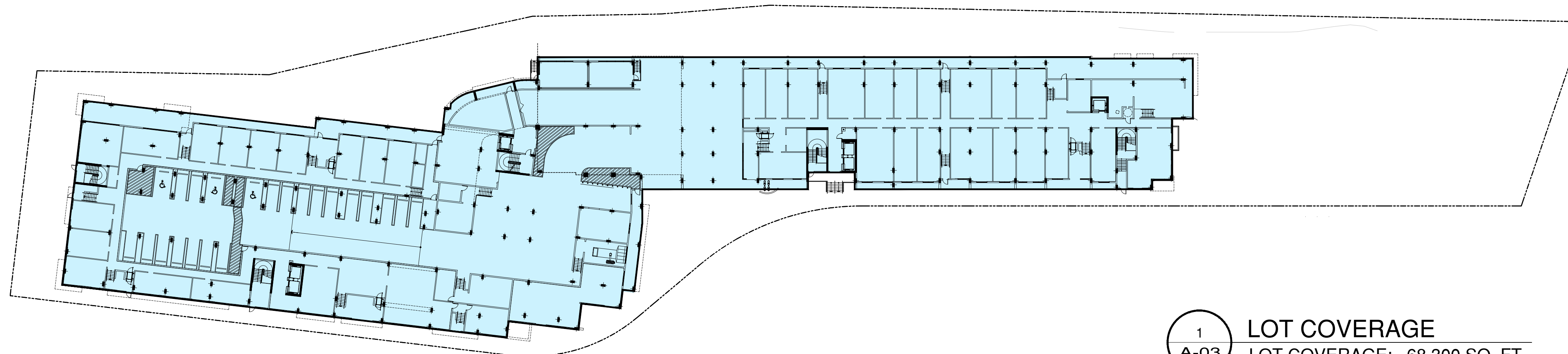
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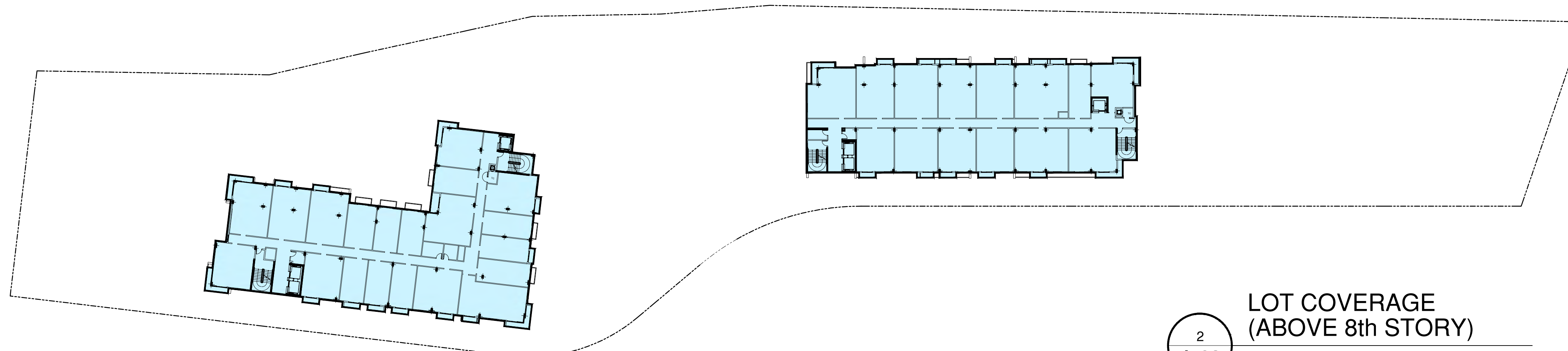
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SHEET No:
A-02
WAIVER SET



1
A-03 **LOT COVERAGE**
LOT COVERAGE: 68,300 SQ. FT.
(53.42%)



2
A-03 **LOT COVERAGE (ABOVE 8th STORY)**
FLOOR PLATE TOWER 1: 14,970 SQ. FT.
FLOOR PLATE TOWER 2: 13,246 SQ. FT.

LEGEND
 LOT AREA
 LOT COVERAGE
 OPEN SPACE

SUSTAINABILITY:
 BUILDING REQUIRED CERTIFICATION BY THE USGBC AND LEED STANDARDS. THE BUILDING CURRENTLY HAS MORE THAN 50,000 SQ. FT OF HABITABLE ROOMS AND HABITABLE AREAS.
 HABITABLE SPACES AND HABITABLE ROOMS WERE CALCULATED BASED ON THE MIAMI 21 ZONING CODE DEFINITIONS.
 THE AREA DIAGRAMS SHOWN ON THIS PAGE SHOW THE AREAS TAKEN INTO ACCOUNT FOR CALCULATIONS.

HABITABLE ROOMS: ROOMS DESIGNED AND USED FOR LIVING, SLEEPING, EATING, COOKING OR WORKING OR COMBINATIONS THEREOF. BATHROOMS, TOILET COMPARTMENTS, CLOSETS, HALLS, STORAGE ROOMS, LAUNDRY AND UTILITY SPACES, BASEMENT RECREATION ROOMS, AND SIMILAR AREAS ARE NOT CONSIDERED HABITABLE ROOMS

HABITABLE SPACE: BUILDING SPACE WHICH USE INVOLVES HUMAN PRESENCE WITH DIRECT VIEW OF THE ENFRONTING STREETS OR PUBLIC OR PRIVATE OPEN SPACE, EXCLUDING PARKING GARAGES, SELF-SERVICE STORAGE FACILITIES, WAREHOUSES AND DISPLAY WINDOWS SEPARATED FROM RETAIL ACTIVITY.

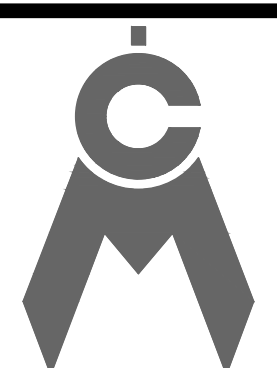
ZONING DIAGRAMS-SUSTAINABILITY ANALYSIS / FLOOR AREAS

PROJECT No.:	REV. #	DATE
	1	05-20-2021- CITY COMM.
DESIGNED BY:	O.M.	2
	3	
DRAWN BY:		4
		5
CHECKED BY:	O.M.	6
		7
ISSUE DATE:	07-10-2020	8
		9
DRAWING SCALE:	AS SHOWN	10

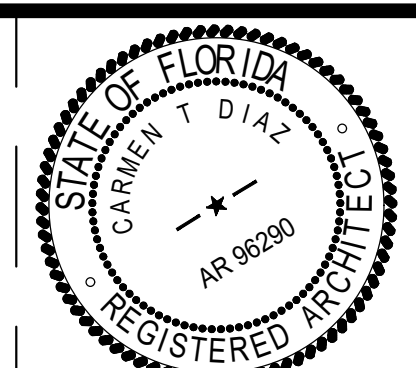
1010 SPRING GARDEN

MIAMI, FL. 33136

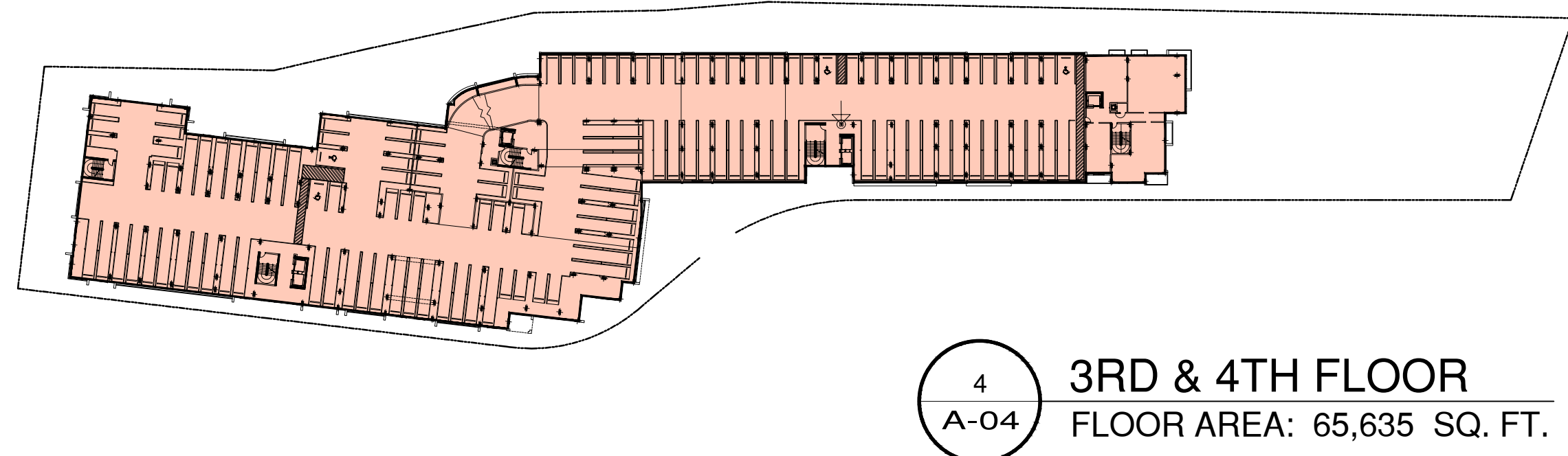
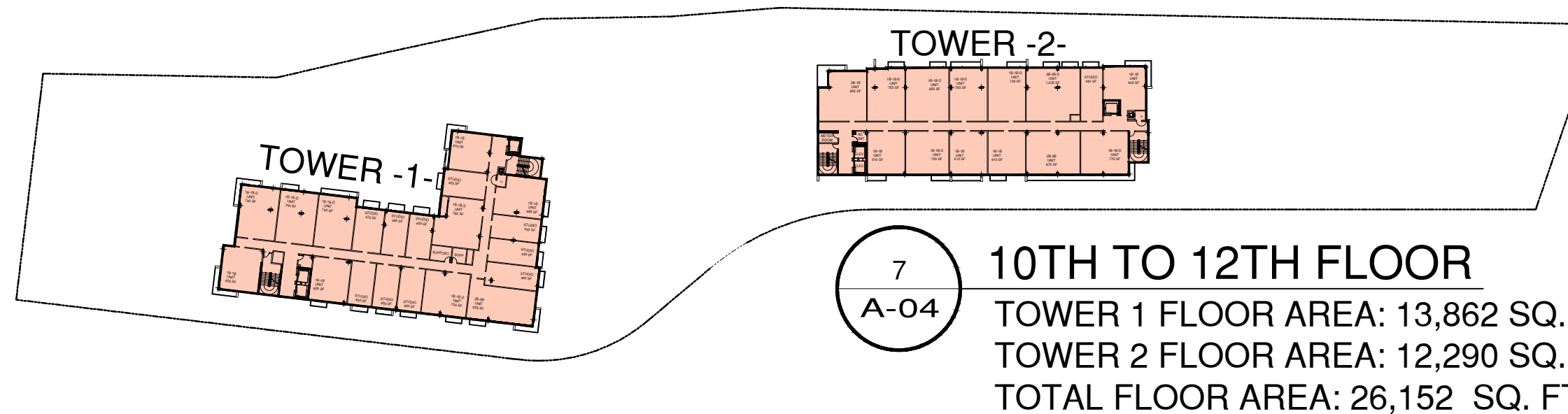
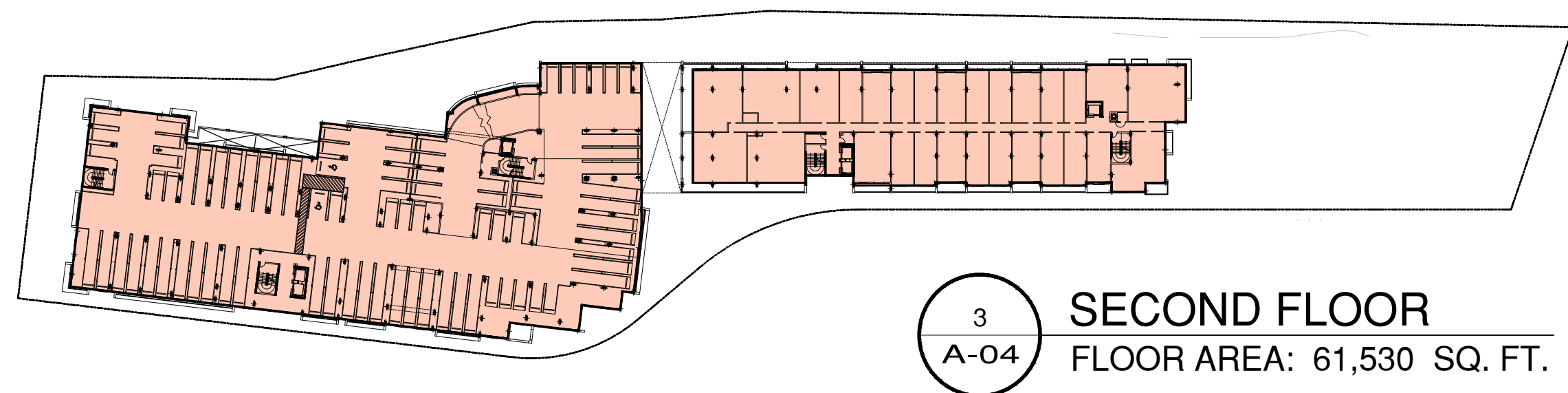
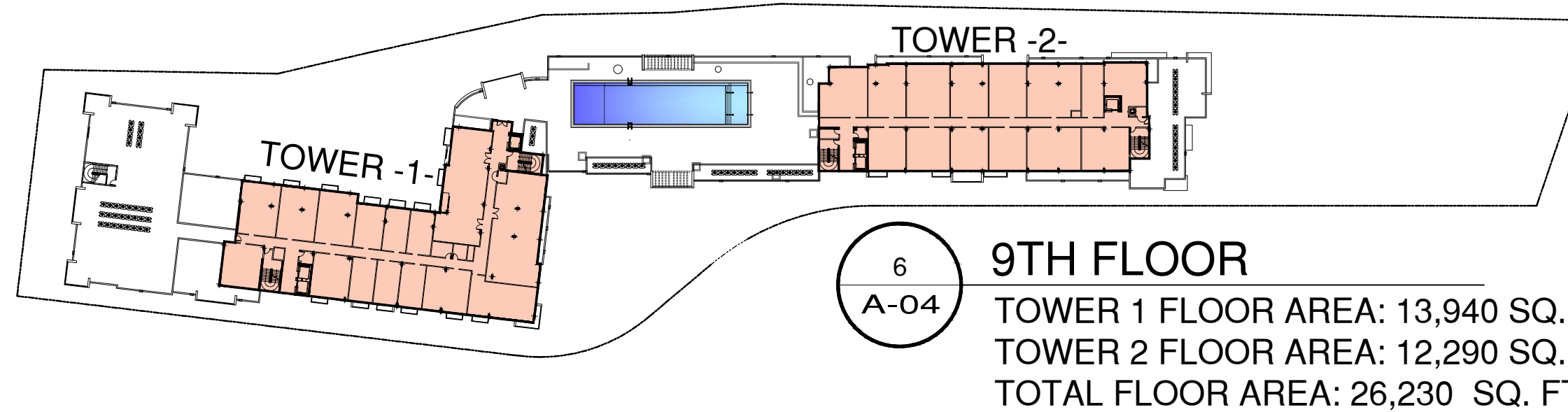
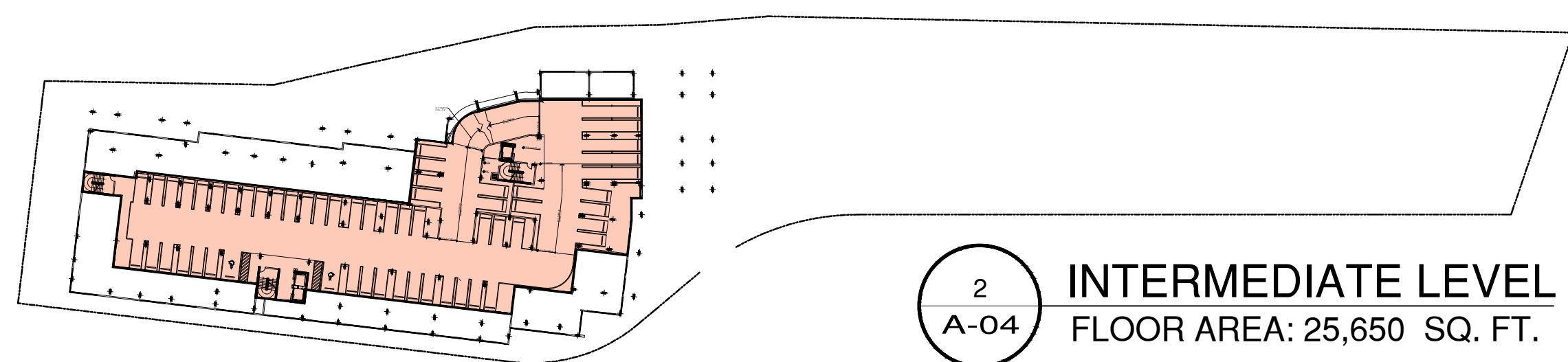
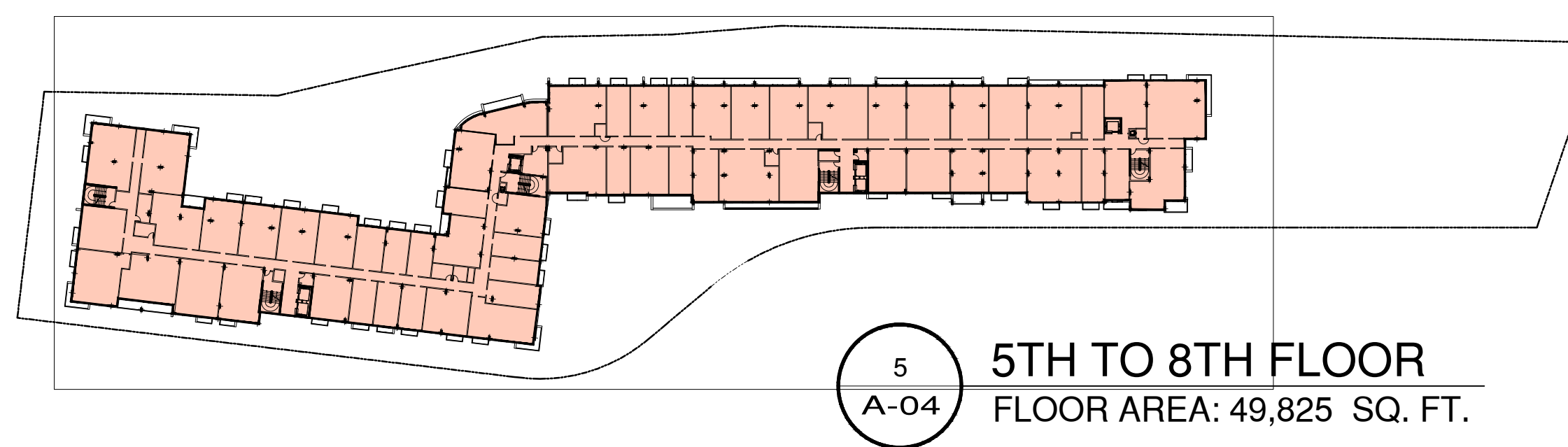
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SHEET No:
A-03
WAIVER SET



FLOOR AREA:

THE FLOOR AREA WITHIN THE INSIDE PERIMETER OF THE OUTSIDE WALLS OF THE BUILDING INCLUDING HALLWAYS, STAIRS, CLOSETS, THICKNESS OF WALLS, COLUMNS AND OTHER FEATURES, AND PARKING AND LOADING AREAS, AND EXCLUDING ONLY INTERIOR ATRIA AND OPEN AIR SPACES SUCH AS EXTERIOR CORRIDORS, PORCHES, BALCONIES AND ROOF AREAS. ALSO MEANS BUILDING OR DEVELOPMENT CAPACITY.

LEGEND



- FLOOR LOT RATIO CALCULATION -				
LEVEL			FLOOR AREA	
GROUND FLOOR			52,816 SF	
INTERMEDIATE LEVEL			25,650 SF	
SECOND FLOOR			61,530 SF	
THIRD FLOOR			65,635 SF	
FOURTH FLOOR			65,635 SF	
FIFTH FLOOR			49,825 SF	
SIXTH FLOOR			49,825 SF	
SEVENTH FLOOR			49,825 SF	
EIGHTH FLOOR			49,825 SF	
NINTH FLOOR	TOWER 1 -FLR-	TOWER 2 -FLR-	26,230 SF	FLR ABOVE 8TH STORY
TENTH FLOOR	13,940 SF	12,290 SF	26,152 SF	104,686 SF
ELEVENTH FLOOR	13,862 SF	12,290 SF	26,152 SF	
TWELFTH FLOOR	13,862 SF	12,290 SF	26,152 SF	
TOTAL FLOOR AREA			575,252 SF	

ZONING DIAGRAMS / FLOOR AREAS

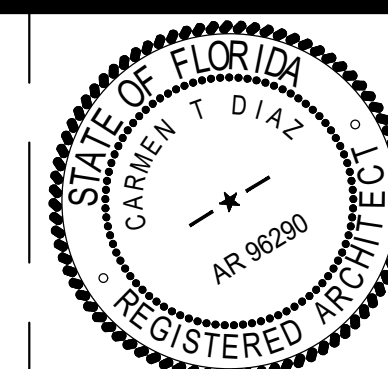
PROJECT No.:	REV. #	DATE
DESIGNED BY: O.M.	1	
DRAWN BY:	2	
CHECKED BY: O.M.	3	
ISSUE DATE: 07-10-2020	4	
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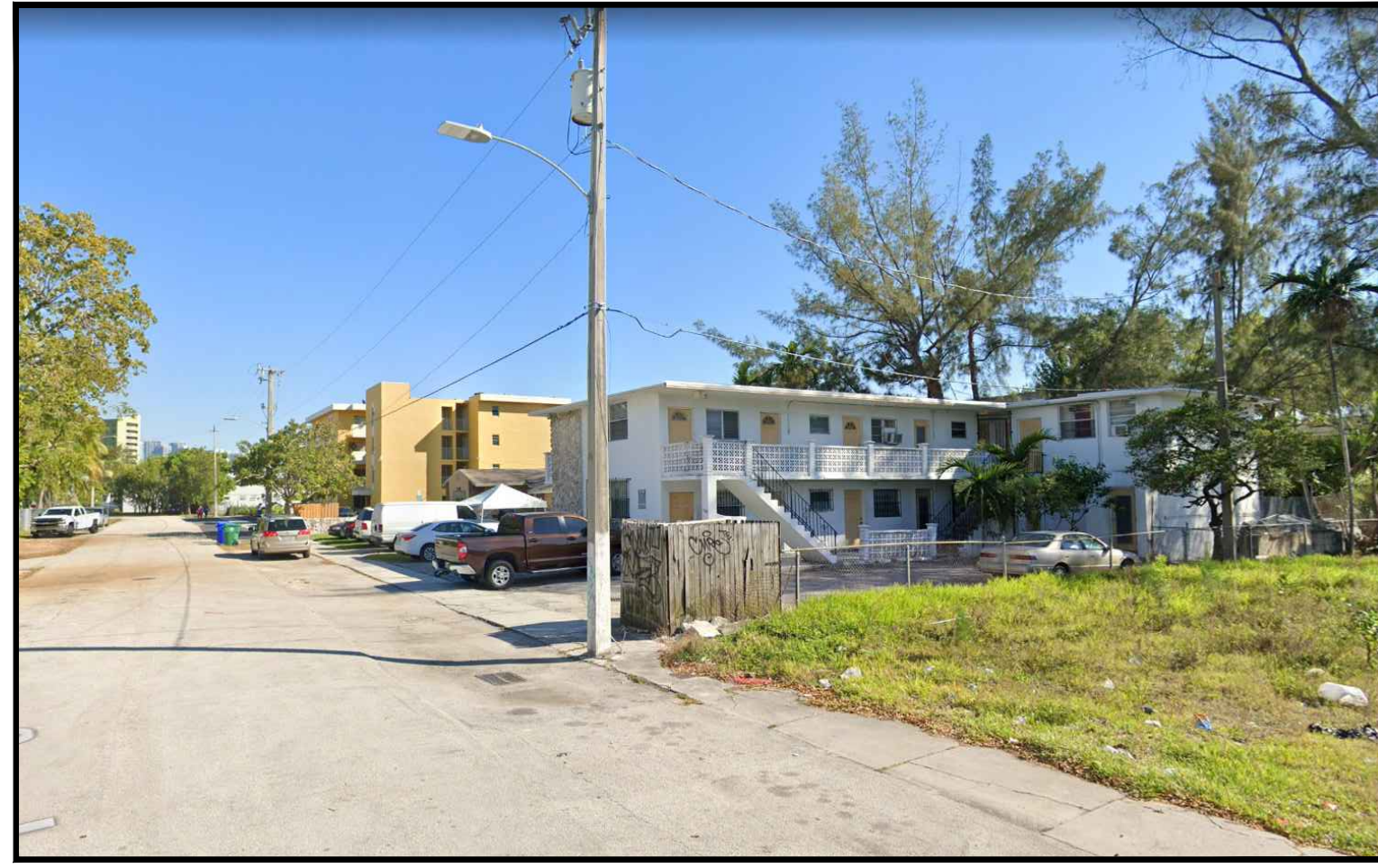


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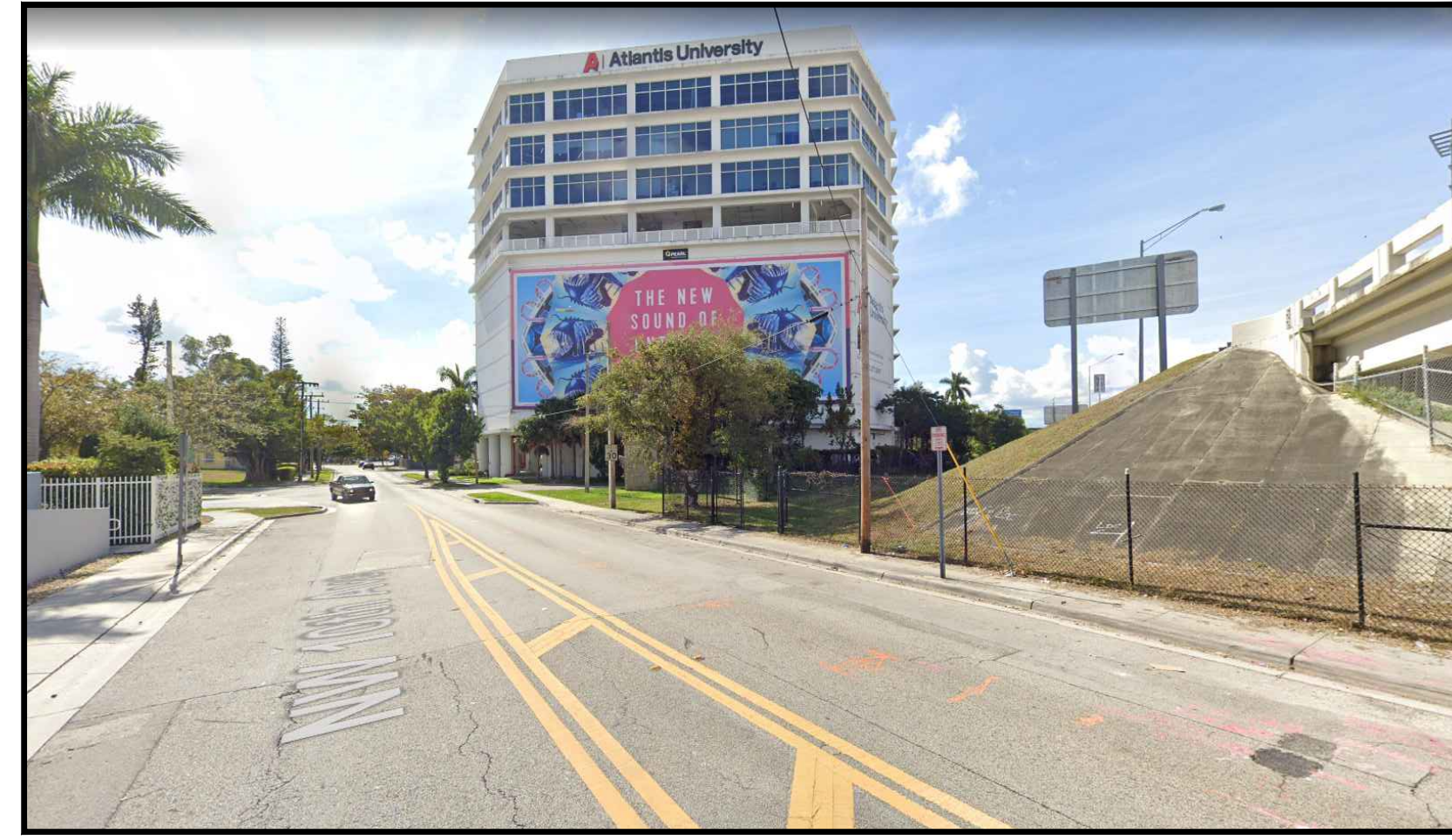


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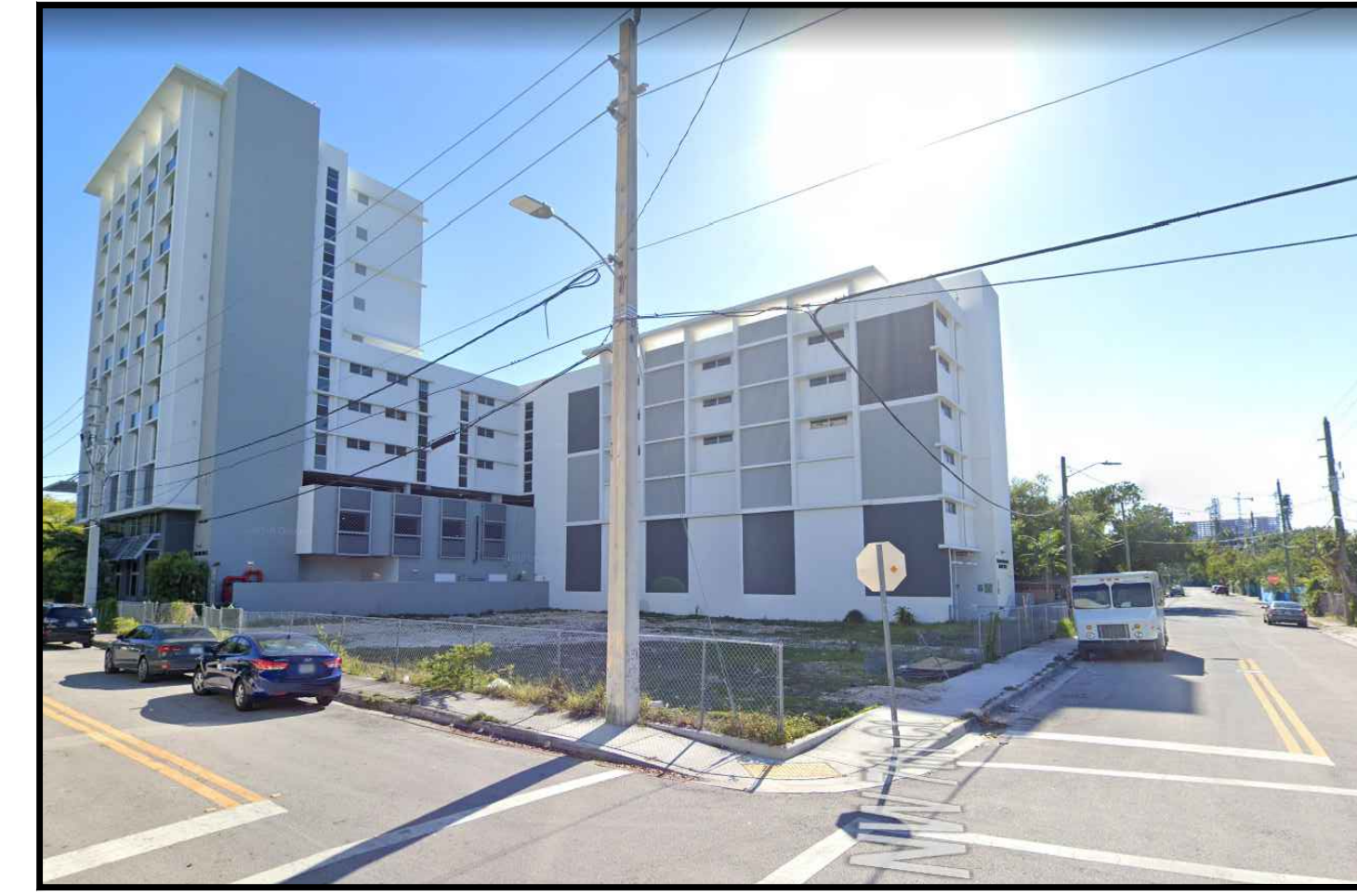
A-04
WAIVER SET



BUILDINGS ON SITE.



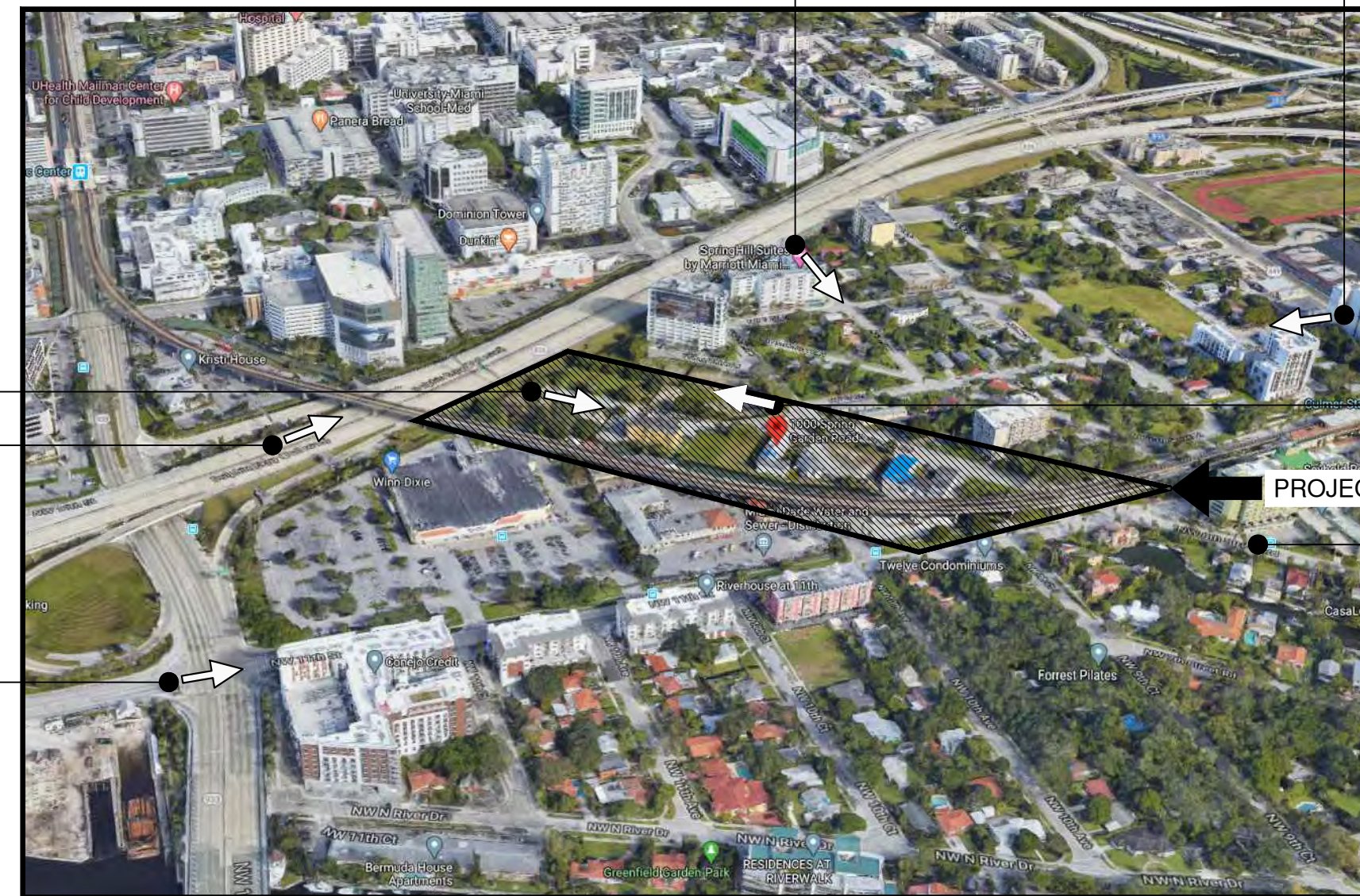
BUILDING TWO BLOCKS NORTH OF SITE



BUILDING, TWO BLOCKS EAST OF SITE



NW OF SITE ACROSS OF DOLPHIN EXPWY.

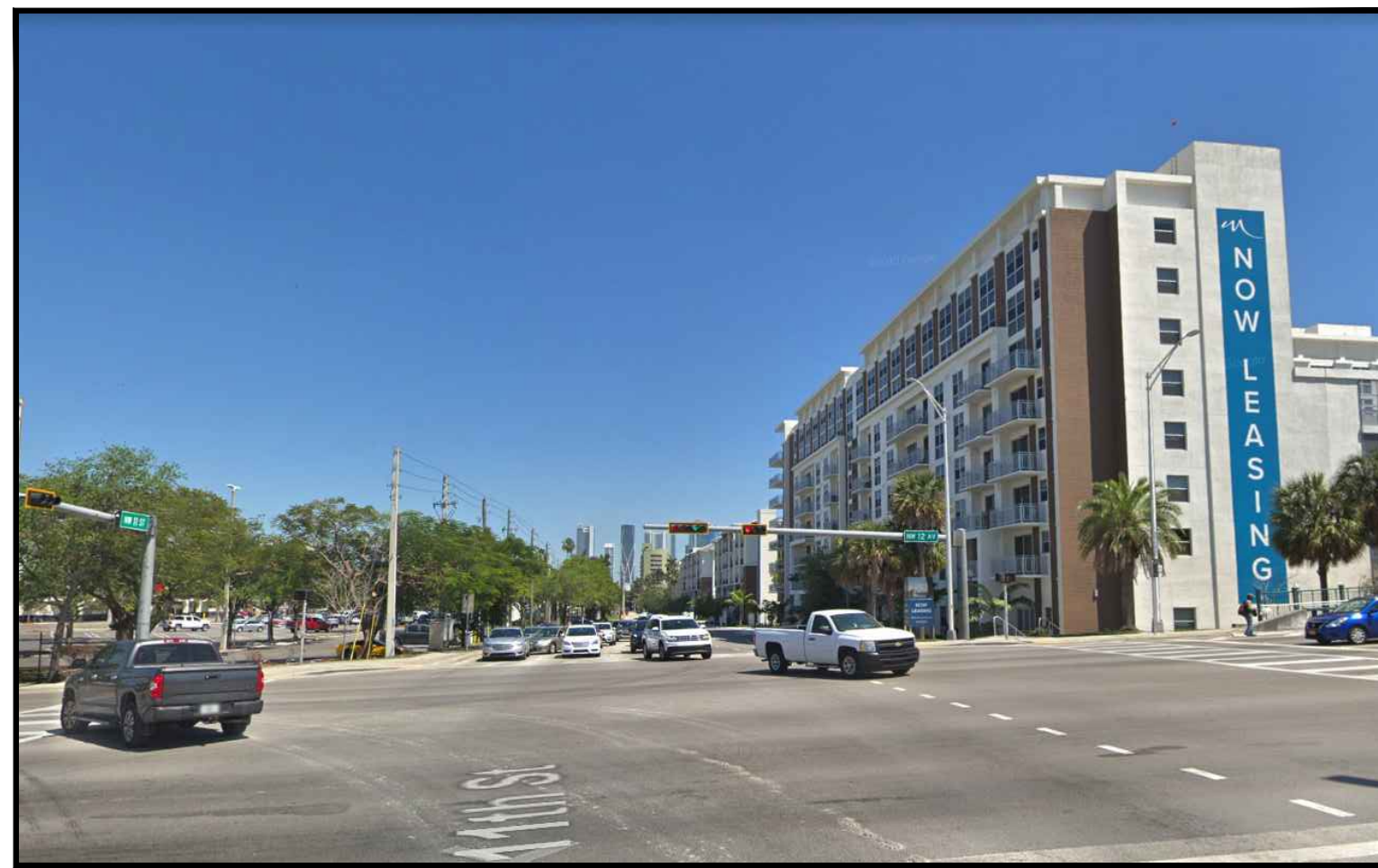


PROJECT SITE

AERIAL PHOTOGRAPH
N.T.S.



BUILDING AT NORTH OF SITE
(SOLESTE SPRING GARDEN / UNDER CONST.)



BUILDING AT SW OF SITE
(NW 12 AVE & 11 ST)



1010 SPRING GARDEN RD
N.T.S.



BUILDING AT SE OF SITE

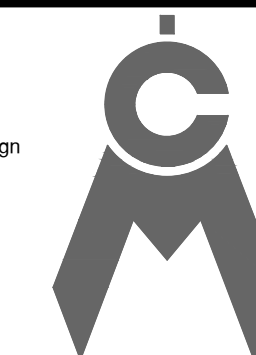
CONTEXT PLAN

PROJECT No.:	REV. #	DATE
	1	05-20-2021- CITY COMM.
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	3	
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ISSUE DATE:	8	07-10-2020
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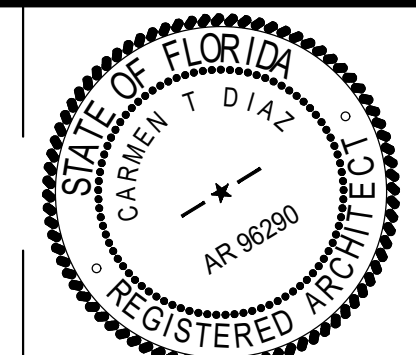
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SHEET No:

A-05
WAIVER SET

STUCCO FINISH AT WALL

SCREEN PANEL RAILINGS
BALCONY W/KYNAR FINISH

ALUMINUM/GLASS DOOR ASSEMBLY
W/KYNAR FIN. W/ LAMINATED TINTED
GLASS W/ A HIGH PERFORMANCE
COATING, TO MEET WIND LOAD
REQUIREMENTS

SCREEN PANEL RAILINGS
BALCONY W/KYNAR FINISH

ALUMINUM/GLASS DOOR ASSEMBLY
W/KYNAR FIN. W/ LAMINATED TINTED
GLASS W/ A HIGH PERFORMANCE
COATING, TO MEET WIND LOAD
REQUIREMENTS

ALUMINUM WINDOW ASSEMBLY
W/LAMINATED TINTED GLASS W/ A HIGH
PERFORMANCE COATING, TO MEET WIND
LOAD REQUIREMENTS

CLADDING SCREEN ASSEMBLY ON
PARKING FACADES W/KYNAR FINISH

STUCCO FINISH AT WALL

ALUMINUM STOREFRONT ASSEMBLY
LAMINATED TINTED GLASS W/ A HIGH
PERFORMANCE COATING, TO MEET
WIND LOAD REQUIREMENTS.



CLADDING SCREEN ON STEEL FRAMEWORK
SOLUTION FOR PARKING GARAGE FACADES



REFERENCE PICTURES
FOR PARKING FACADE



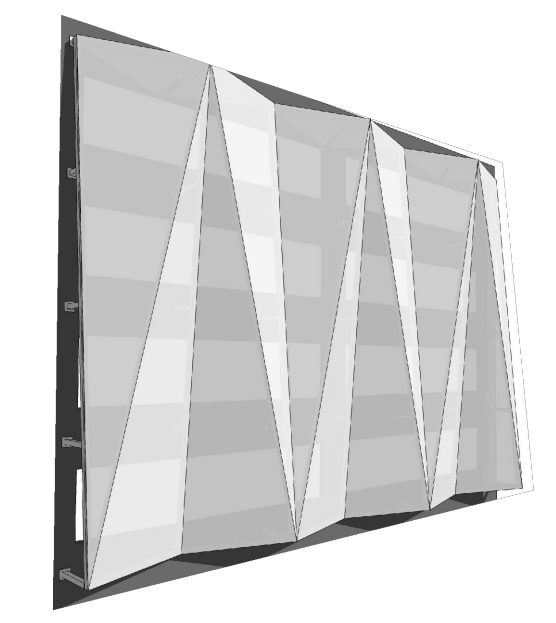
A SCREEN PANEL RAILINGS BALCONY WITH KYNAR
FINISH



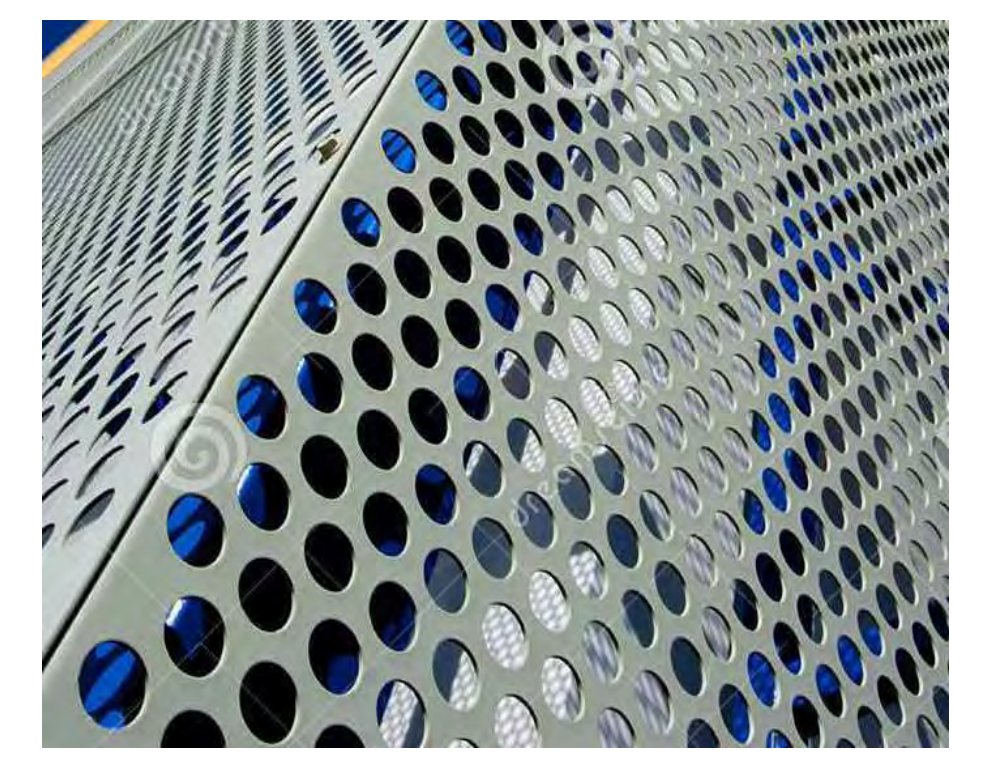
B EXTERIOR WALL
MOUNTED LIGHT FIXTURES



C ALUMINUM PARKING GATE
COLOR: MEDIUM GRAY



D CLADDING SCREEN +
STEEL FRAMEWORK SOLUTION
FOR PARKING GARAGE FACADES



E PERFORATED METAL MESH PANEL
PERFORATION SIZES VARY BY PANEL

BUILDING REFERENCE DETAILS

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	5	
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	9	
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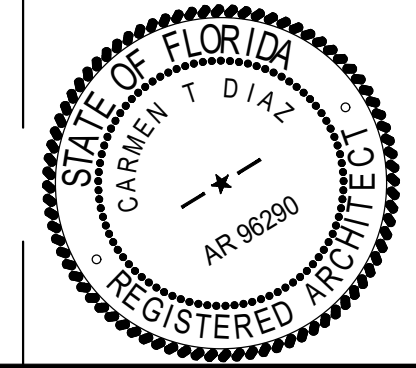
1010 SPRING GARDEN

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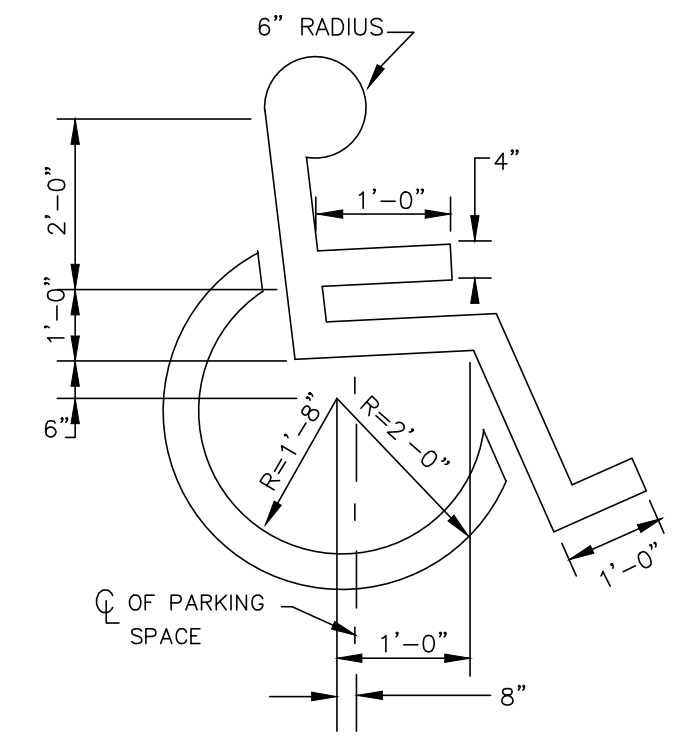
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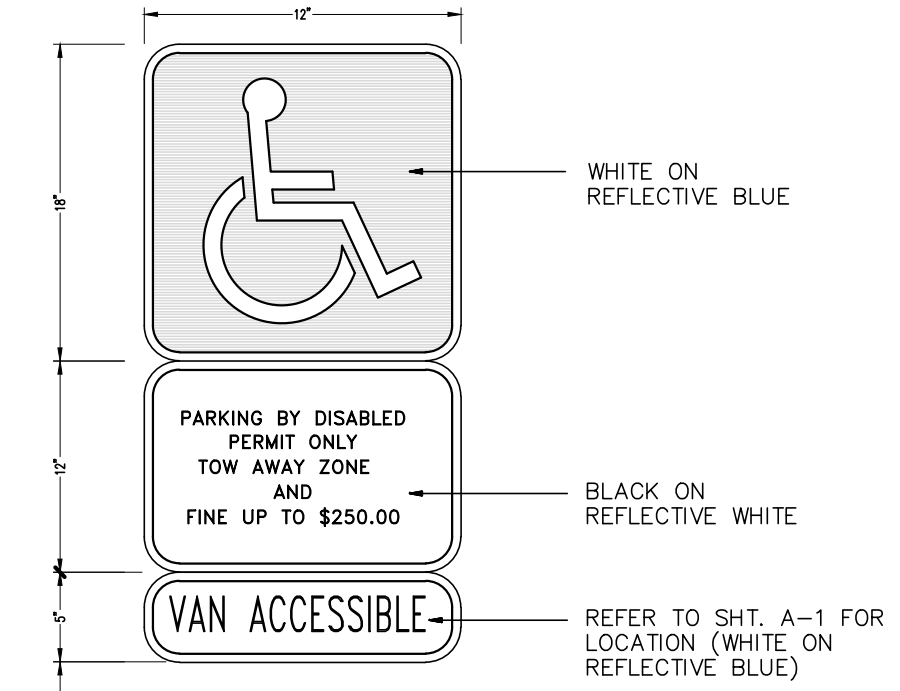


SHEET No:
A-06
WAIVER SET

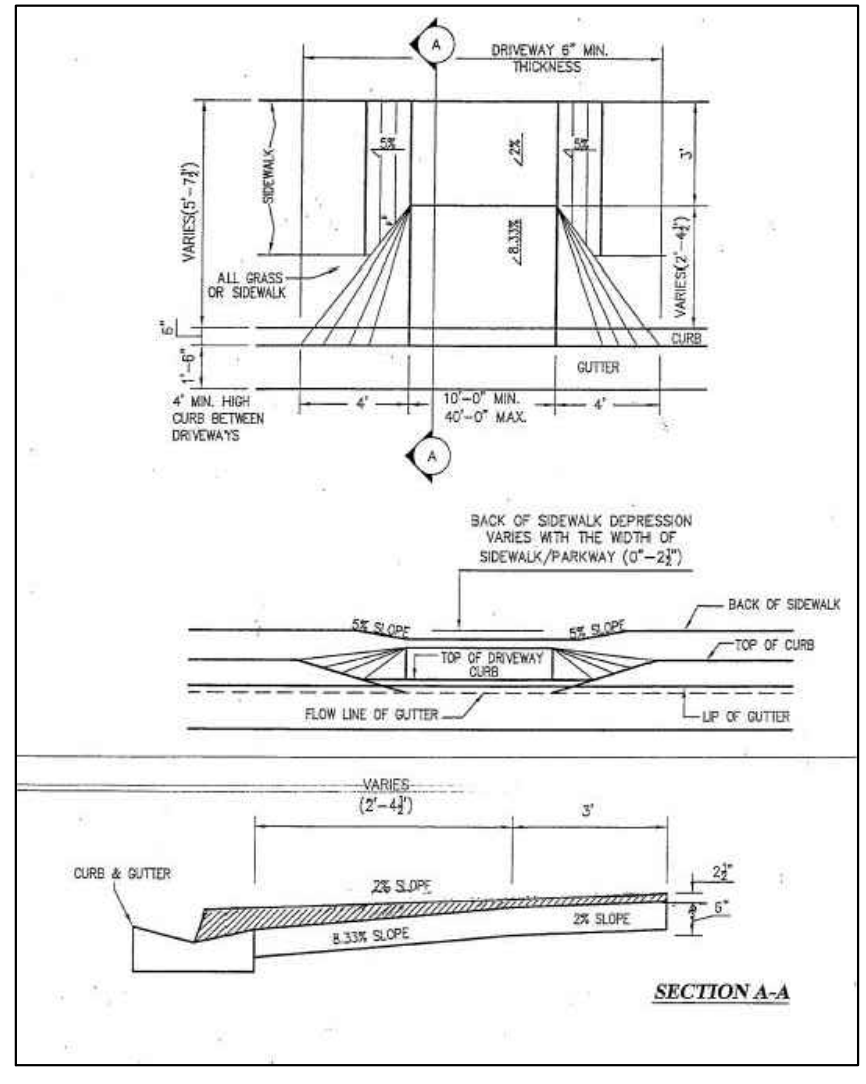


PAVEMENT LOGO PER FDOT INDEX No. 17346. SIZE 3 OR 5 FEET IN HEIGHT AND WHITE IN COLOR

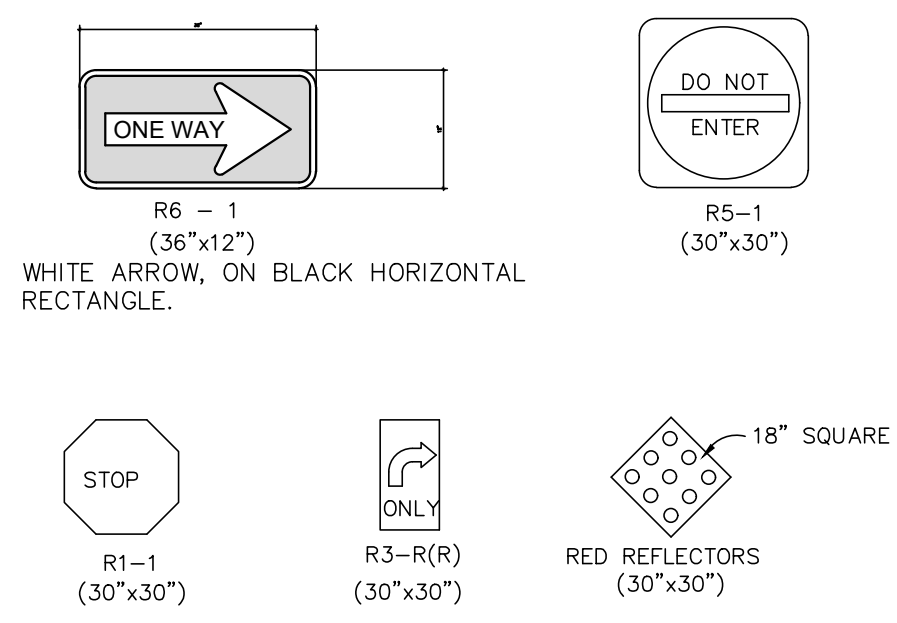
1 TYPICAL HANDICAP SYMBOL
A-07 N.T.S.



2 HANDICAP SIGN DETAIL @ PARKING GARAGE
A-07 N.T.S.

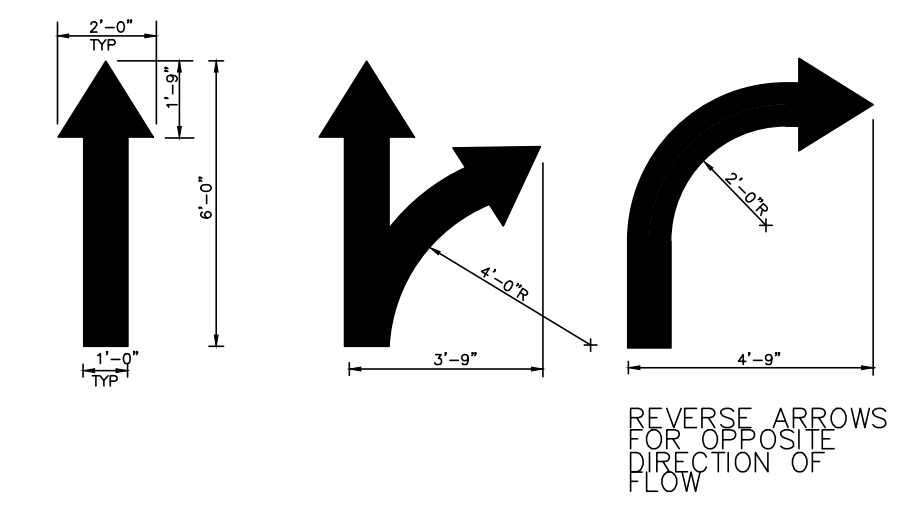


3 DRIVEWAY DETAIL
A-07 N.T.S.



SIGNS AREA TO BE MOUNTED ON FLANGED POST PER CITY OF CORAL GABLES RECOMMENDATIONS

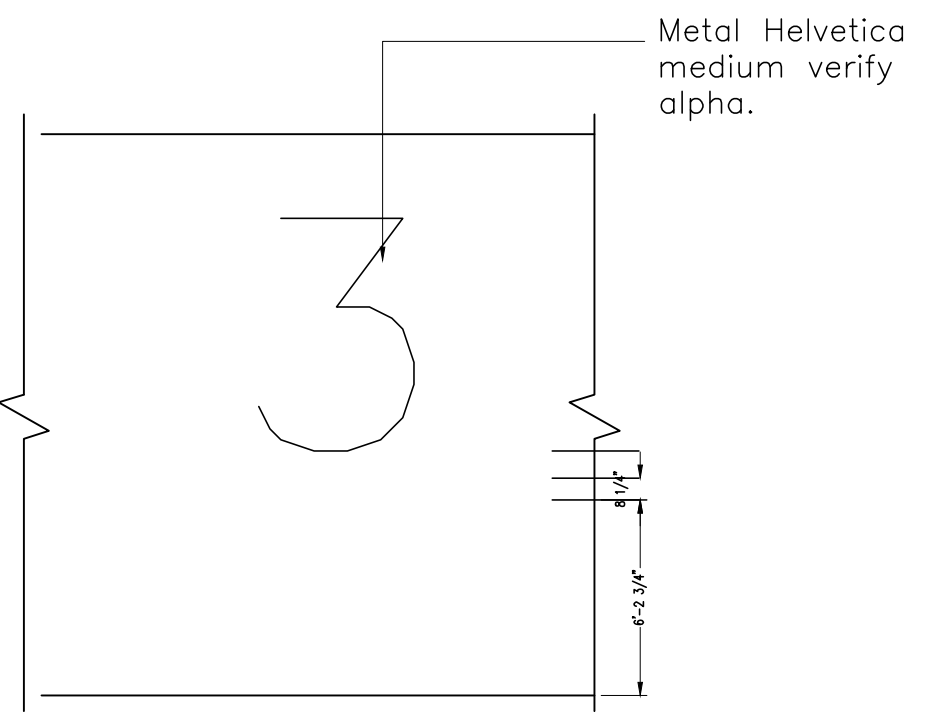
4 TYPICAL TRAFFIC SIGNS
A-07 N.T.S.



REVERSE ARROWS FOR OPPOSITE DIRECTION OF FLOW

NOTES:
ALL PAVEMENT MARKING SHALL BE REFLECTORIZED THERMOPLASTIC, EXCEPT FOR PARKING STALL LINES WHICH AREA PERMITTED TO BE FDOT APPROVED PAINT. ALL REGULATORY SIGNS SHALL BE MADE OF HIGH INTENSITY REFLECTIVE MATERIALS (3M DIAMOND GRADE OR EQUIVALENT) AND SHALL CONFORM TO THE USDOT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND BROWARD COUNTY TRAFFIC ENGINEERING STANDARDS.

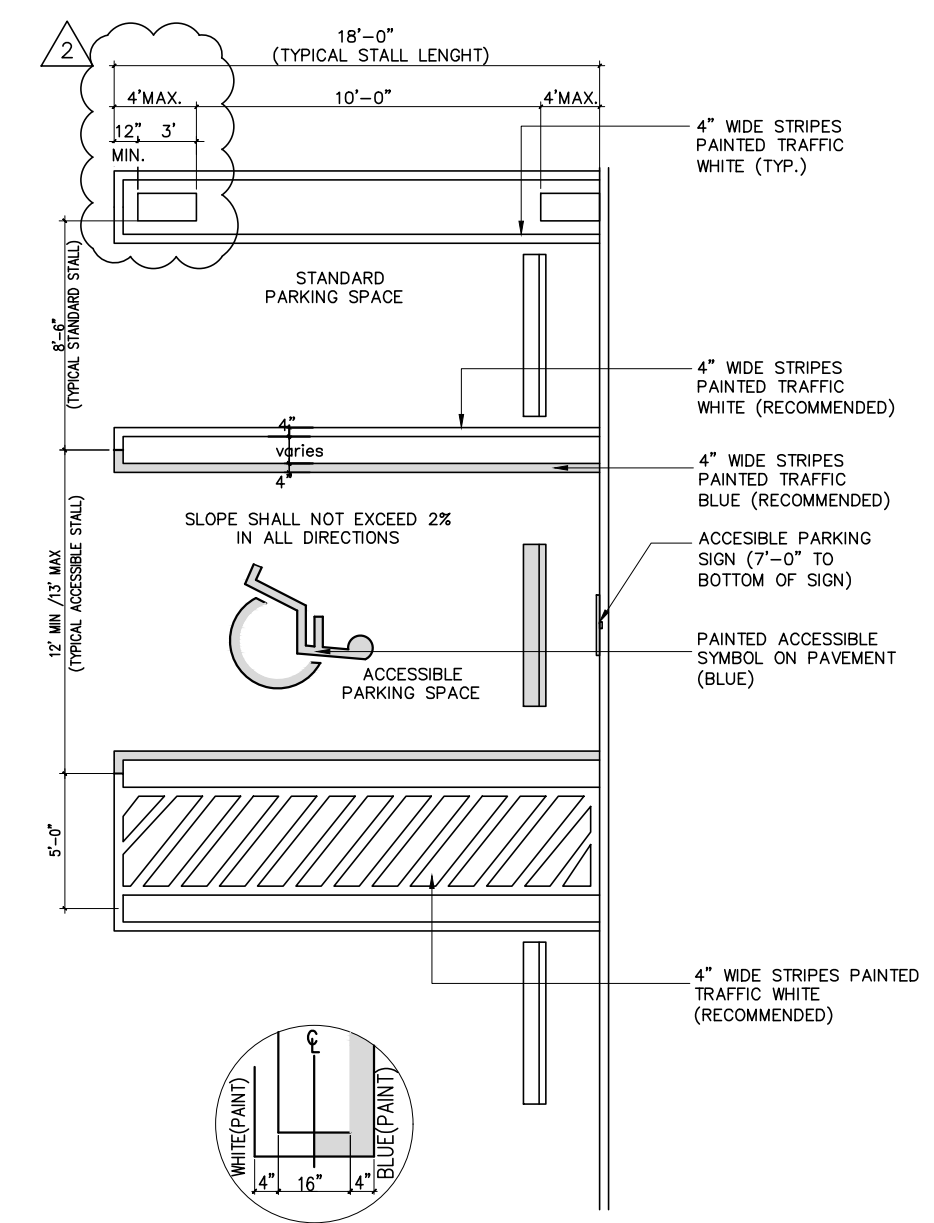
6 TYPICAL DIRECTIONAL ARROWS DETAILS
A-07 N.T.S.



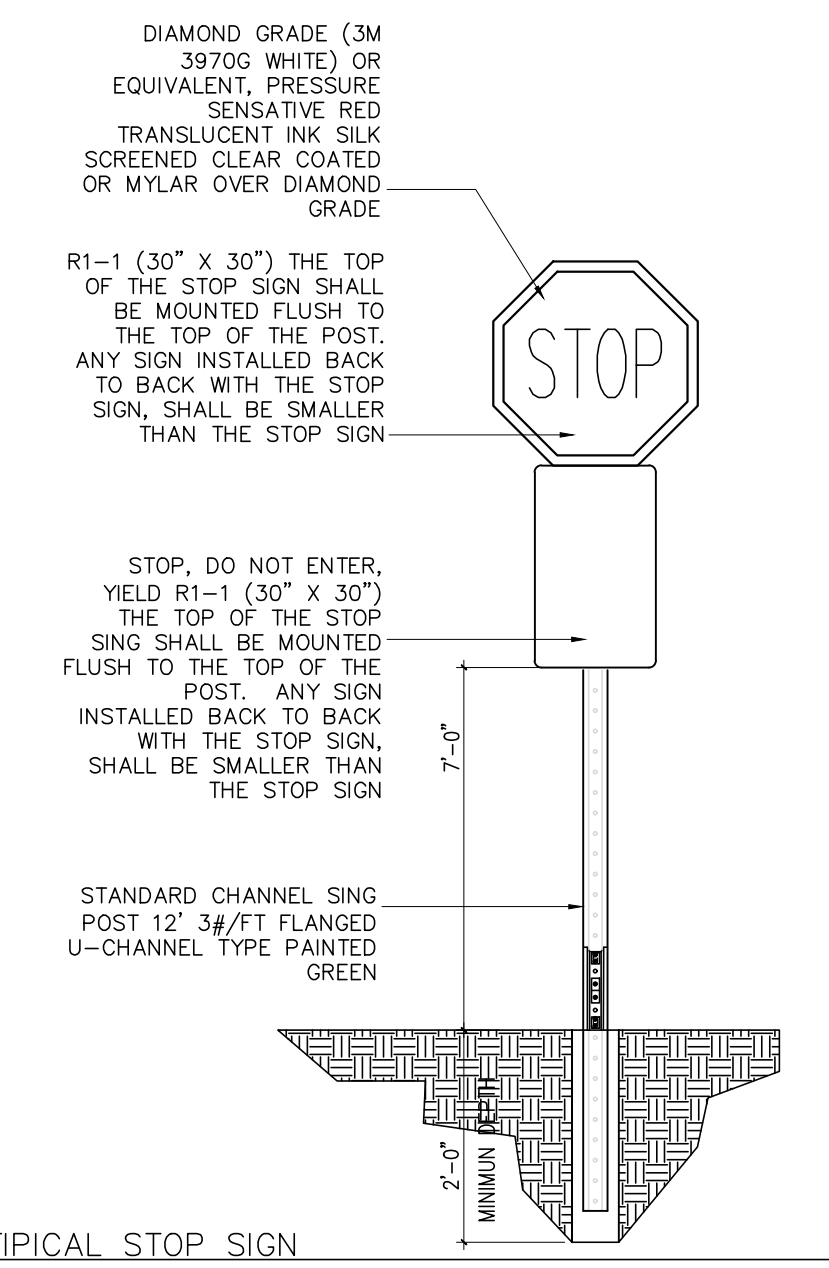
Metal Helvetica medium verify alpha.

Note:
Provide @ outside face of elevator wall. Verify location with architect.

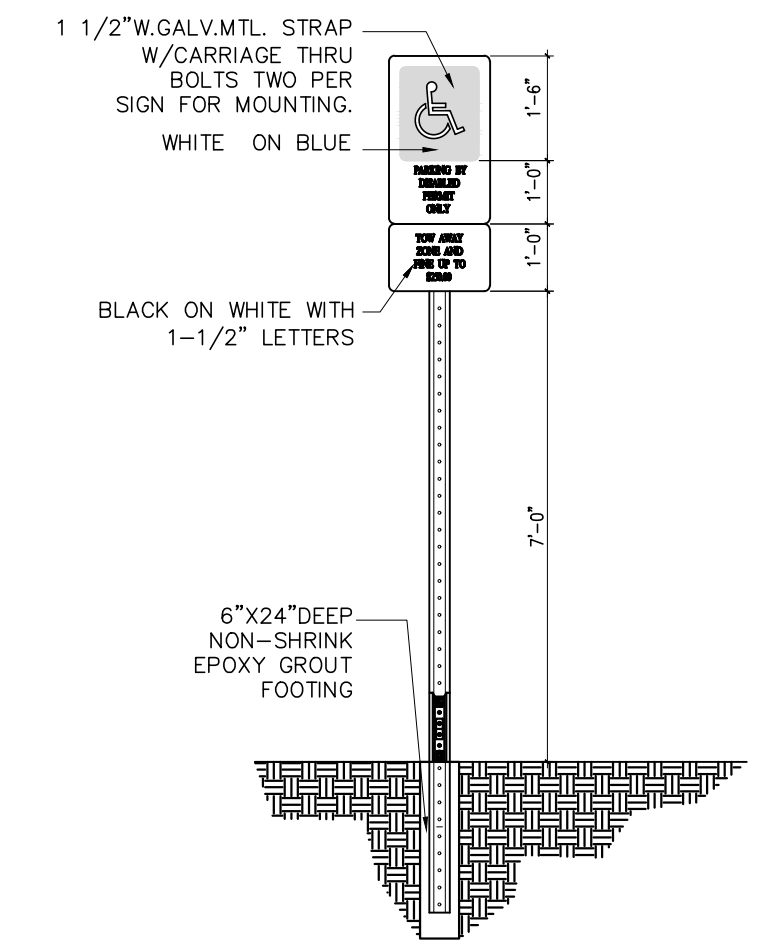
7 SIGN DETAIL AT STAIRWELL
A-07 N.T.S.



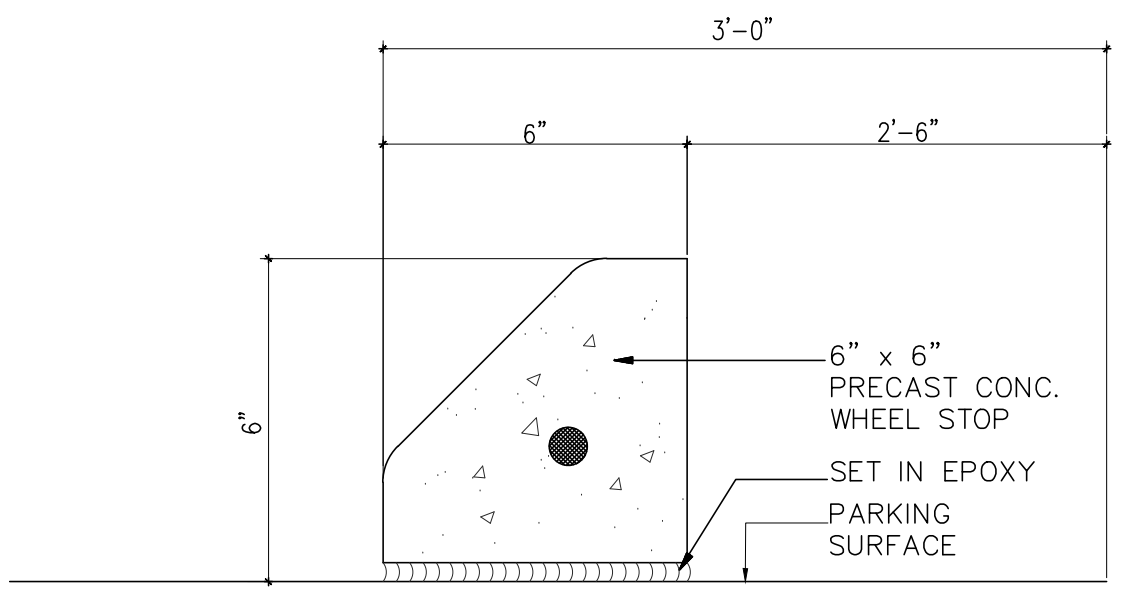
8 TYPICAL PARKING STALLS
A-07 N.T.S.



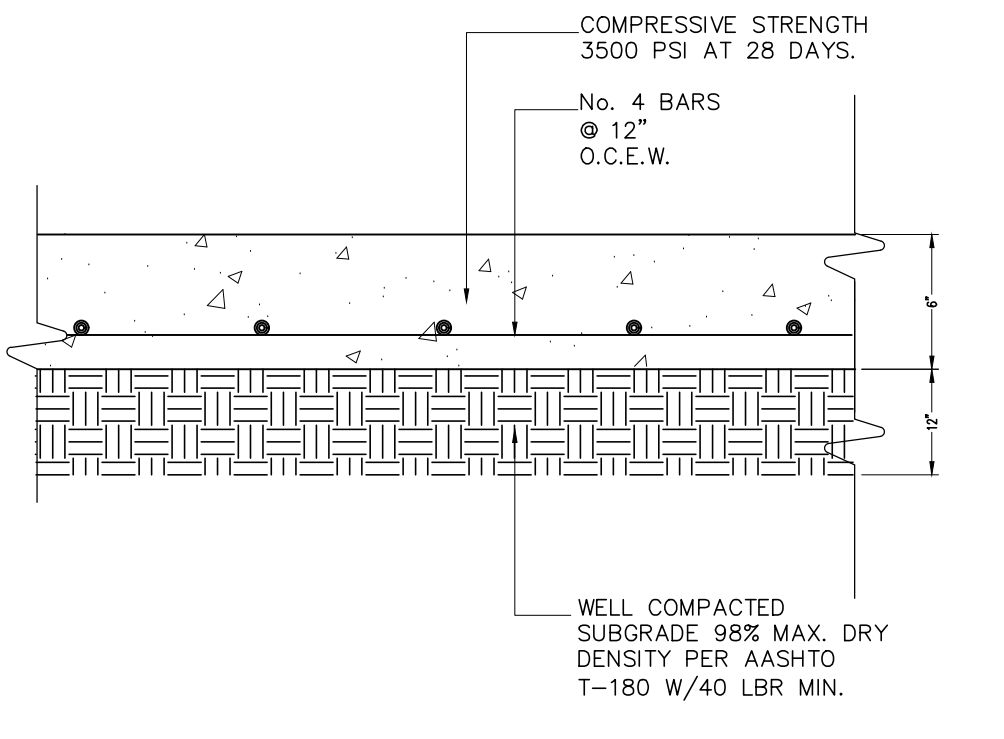
9 TYPICAL STOP SIGN
A-07 N.T.S.



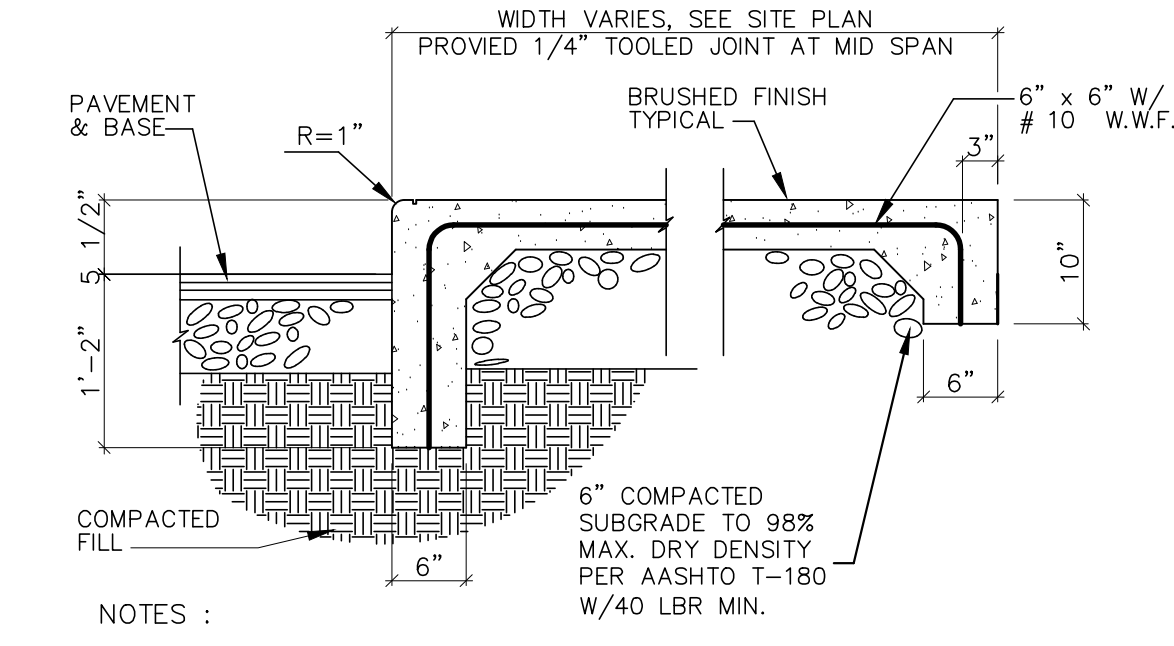
11 HANDICAP PARKING SIGN
A-07 N.T.S.



12 PRECAST CONCRETE WHEELSTOP
A-07 N.T.S.



13 TYPICAL CONCRETE PAVEMENT DETAIL
A-07 N.T.S.



NOTES:
THICKENED EDGE NOT REQUIRED WHERE WALK ABUTTS STRUCTURE. (PROVIDE A 1/2" NON-EXTRUDING EXPANSION JOINT AGAINST STRUCTURE.
ALL CURBS TO HAVE 3/4" EXPANSION JOINTS AT MAXIMUM 100 FEET WITH DOWELS & CONTROL JOINTS AT MAX. 20 FEET.

14 TYPICAL PERIMETER SIDEWALK
A-07 N.T.S.

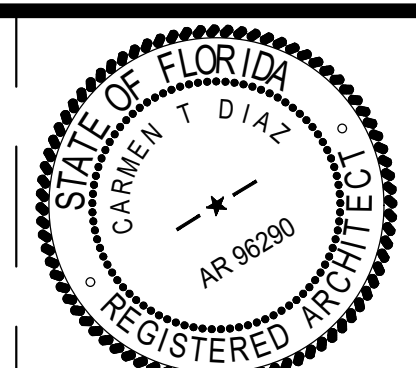
PROJECT No.:	REV. #	DATE
DESIGNED BY:	1	
	2	06-17-2022- CITY COMM.
DRAWN BY:	3	
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DRAWING SCALE:	10	AS SHOWN

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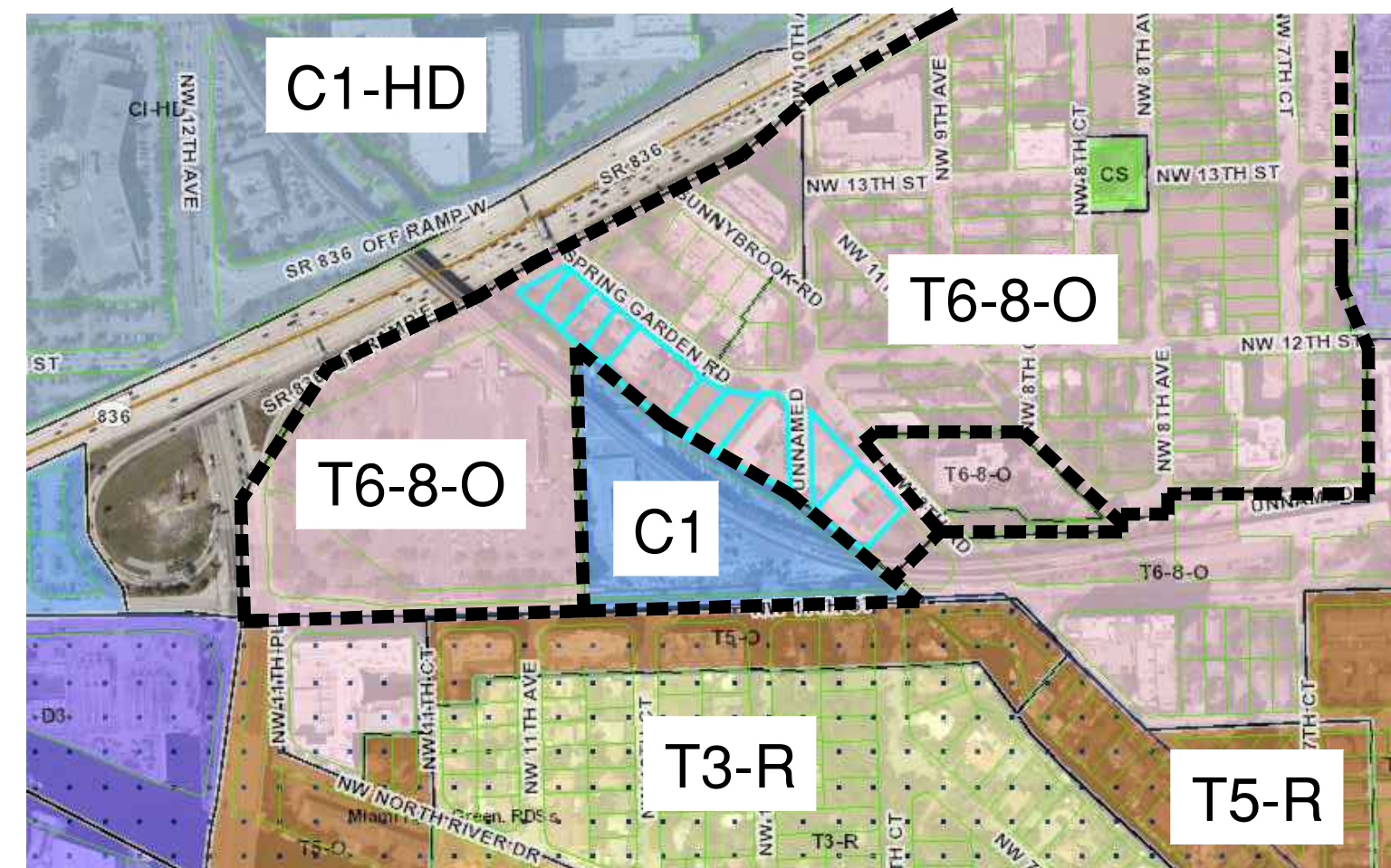
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TEL (305) 669-5040
FAX (305) 669-5041



SOLAR REFLECTIVE EXTERIOR AREAS

ALL ROOF EXTERIOR SURFACES AND BUILDING MATERIALS USED, SHALL HAVE A MINIMUM SOLAR REFLECTANCE AS SPECIFIED IN SECTIONS 3.13.2.C AND 3.13.2.D WHEN TESTED IN ACCORDANCE WITH ASTM E903 OR ASTM E1918 TESTED WITH A PORTABLE REFLECTOMETER AT NEAR AMBIENT CONDITIONS, LABELED BY THE COOL ROOF RATING COUNCIL, OR LABELED AS AN ENERGY STAR QUALIFIED ROOF PRODUCT. ANY PRODUCT THAT HAS BEEN RATED BY THE COOL ROOF RATING COUNCIL OR BY ENERGY STAR SHALL DISPLAY LABEL VERIFYING THE RATING OF THE PRODUCT.

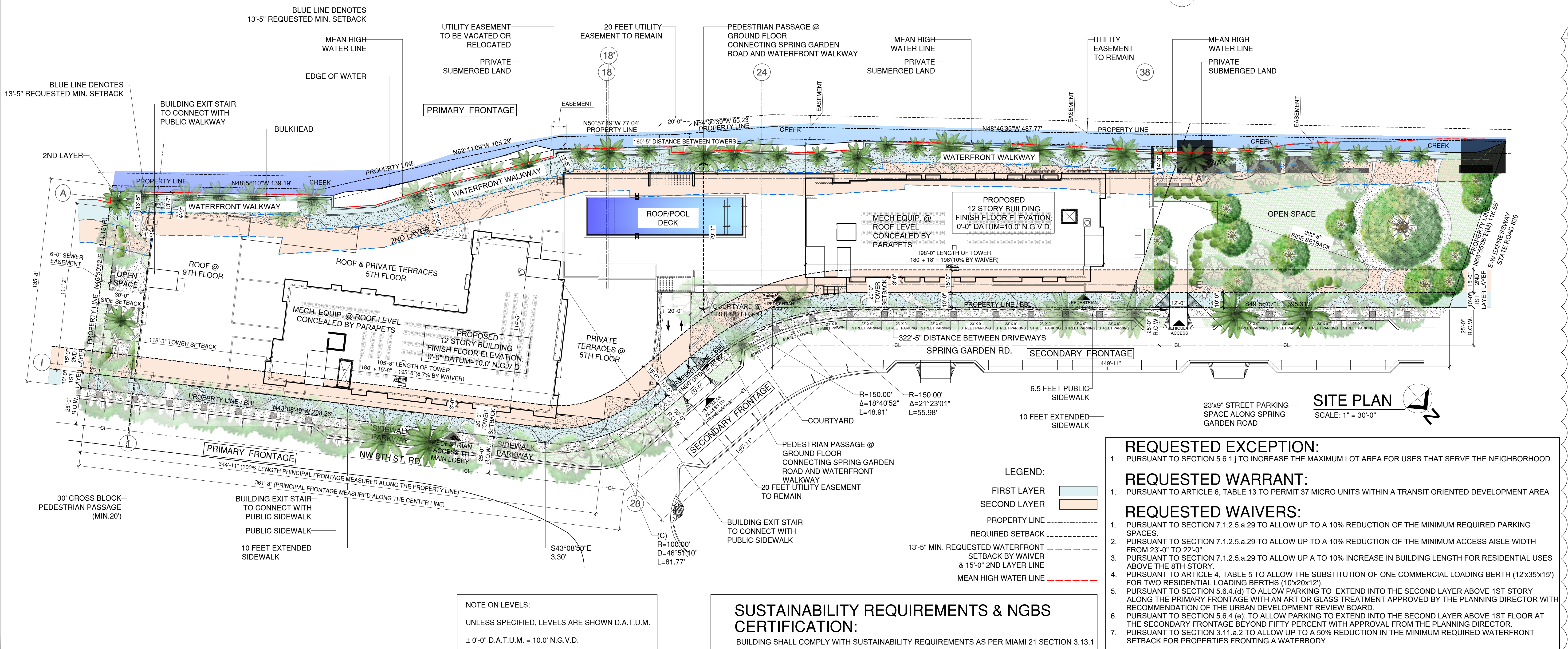
ALL PAVING MATERIALS USED SHALL HAVE A MINIMUM SOLAR REFLECTANCE AS SPECIFIED IN SECTIONS 3.13.2.D WHEN TESTED IN ACCORDANCE WITH ASTM E903 OR ASTM E1918, TESTED WITH A PORTABLE REFLECTOMETER AT NEAR AMBIENT CONDITIONS, OR DEFAULT VALUES OF SOLAR REFLECTANCE FOR LISTED MATERIALS MUST BE USED A NEW GRAY CONCRETE WITH A SOLAR REFLECTIVE 0.35.



ZONING MAP
N.T.S.



LOCATION MAP
N.T.S.



SITE PLAN
SCALE: 1" = 30'-0"

- REQUESTED EXCEPTION:**
- PURSUANT TO SECTION 5.6.1.J TO INCREASE THE MAXIMUM LOT AREA FOR USES THAT SERVE THE NEIGHBORHOOD.
- REQUESTED WARRANT:**
- PURSUANT TO ARTICLE 6, TABLE 13 TO PERMIT 37 MICRO UNITS WITHIN A TRANSIT ORIENTED DEVELOPMENT AREA
- REQUESTED WAIVERS:**
- PURSUANT TO SECTION 7.1.2.5.a.29 TO ALLOW UP TO A 10% REDUCTION OF THE MINIMUM REQUIRED PARKING SPACES
 - PURSUANT TO SECTION 7.1.2.5.a.29 TO ALLOW UP TO A 10% REDUCTION OF THE MINIMUM ACCESS AISLE WIDTH FROM 23'-0" TO 22'-0"
 - PURSUANT TO SECTION 7.1.2.5.a.29 TO ALLOW UP TO A 10% INCREASE IN BUILDING LENGTH FOR RESIDENTIAL USES ABOVE THE 8TH STORY.
 - PURSUANT TO ARTICLE 4, TABLE 5 TO ALLOW THE SUBSTITUTION OF ONE COMMERCIAL LOADING BERTH (12'x35'x15') FOR TWO RESIDENTIAL LOADING BERTHS (10'x20'x12')
 - PURSUANT TO SECTION 5.6.4.(d) TO ALLOW PARKING TO EXTEND INTO THE SECOND LAYER ABOVE 1ST STORY ALONG THE PRIMARY FRONTAGE WITH AN ART OR GLASS TREATMENT APPROVED BY THE PLANNING DIRECTOR WITH RECOMMENDATION OF THE URBAN DEVELOPMENT REVIEW BOARD.
 - PURSUANT TO SECTION 5.6.4.(e): TO ALLOW PARKING TO EXTEND INTO THE SECOND LAYER ABOVE 1ST FLOOR AT THE SECONDARY FRONTAGE BEYOND FIFTY PERCENT WITH APPROVAL FROM THE PLANNING DIRECTOR.
 - PURSUANT TO SECTION 3.11.a.2 TO ALLOW UP TO A 50% REDUCTION IN THE MINIMUM REQUIRED WATERFRONT SETBACK FOR PROPERTIES FRONTING A WATERBODY.

NOTE ON LEVELS:
UNLESS SPECIFIED, LEVELS ARE SHOWN D.A.T.U.M.
± 0'-0" D.A.T.U.M. = 10.0' N.G.V.D.

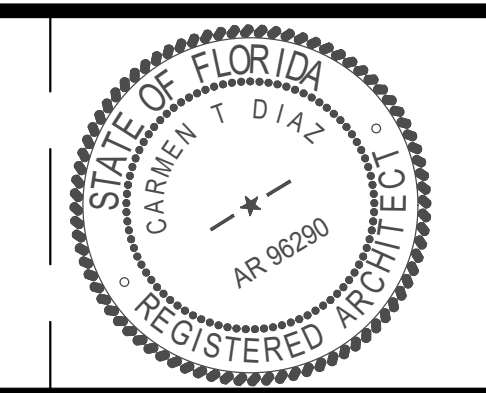
SUSTAINABILITY REQUIREMENTS & NGBS CERTIFICATION:
BUILDING SHALL COMPLY WITH SUSTAINABILITY REQUIREMENTS AS PER MIAMI 21 SECTION 3.13.1

PROJECT No.:	REV. #	DATE
	1	05-20-2021- CITY COMM.
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CHECKED BY:	O.M.	
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MIAMI, FL. 33136

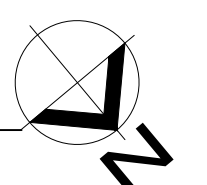
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PEDESTRIAN PASSAGES
KEY PLAN
SCALE: 1" = 30'-0"



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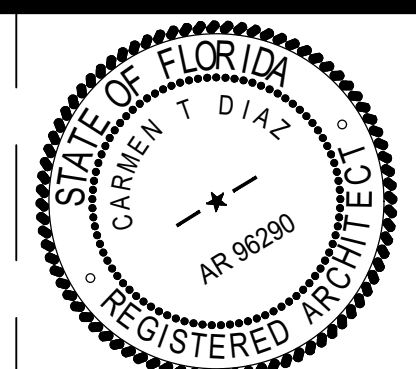
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FAX: (305) 669-5041



SHEET No.:

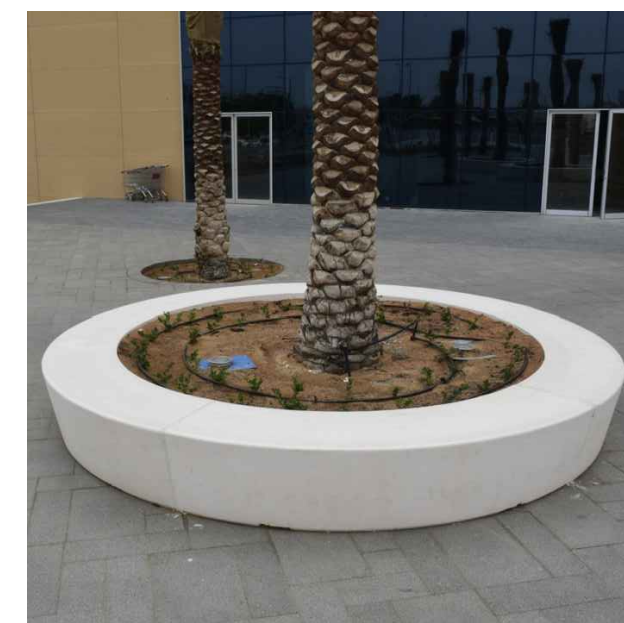
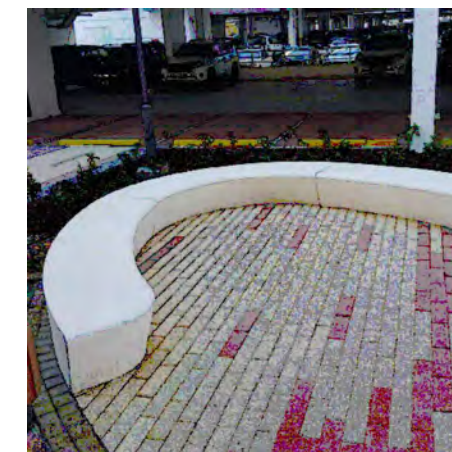
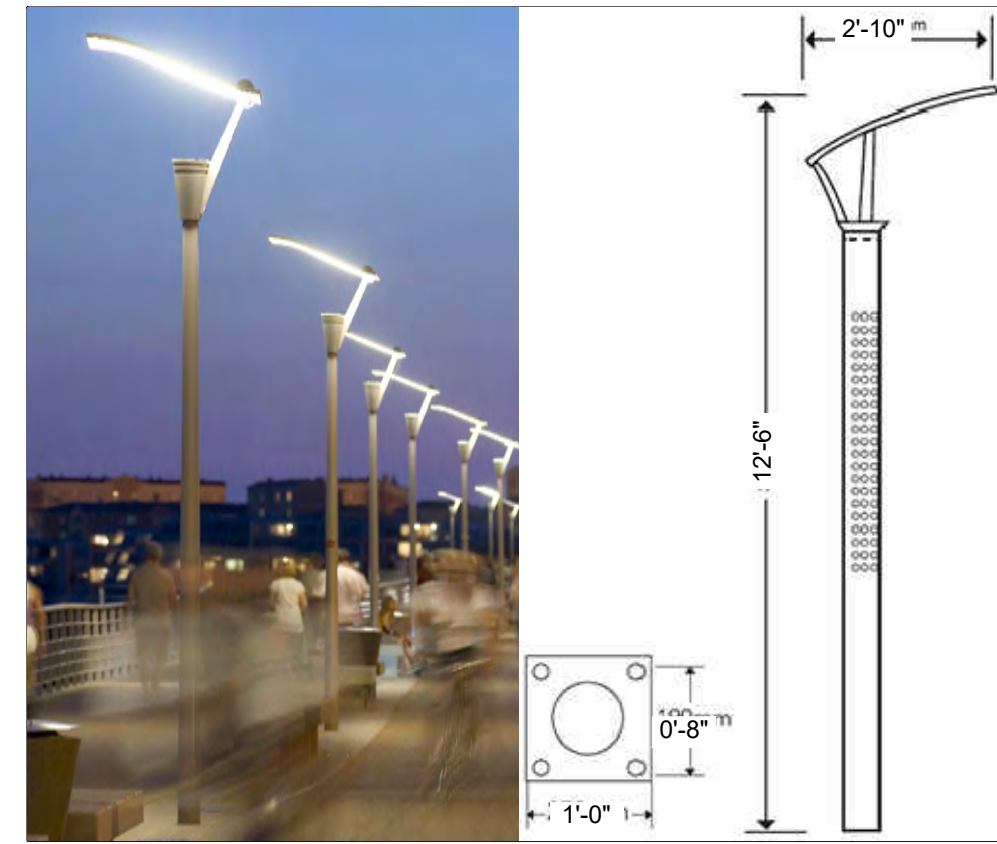
A101.2



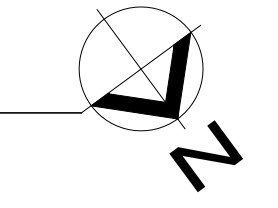
PEDESTRIAN PASSAGE AND BUILDING FACADE - ILLUSTRATIVE RENDERING -



REFERENCE PICTURES FURNITURE / TREES / LIGHTS & PAVERS @ GROUND LEVEL



1 SITE DETAIL
A-101.3 SCALE: 1/8" = 1'-0"



PROJECT No.:	REV. #	DATE
	1	
	2	
DESIGNED BY:	O.M.	
	3	
	4	
DRAWN BY:		
	5	
	6	
CHECKED BY:	O.M.	
	7	
ISSUE DATE:	07-10-2020	
	8	
	9	
DRAWING SCALE:	AS SHOWN	10

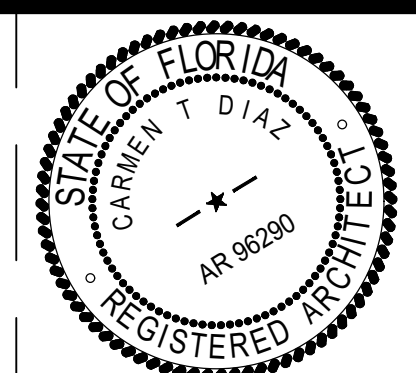
1010 SPRING GARDEN

MIAMI, FL. 33136

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LIC # AR 96290
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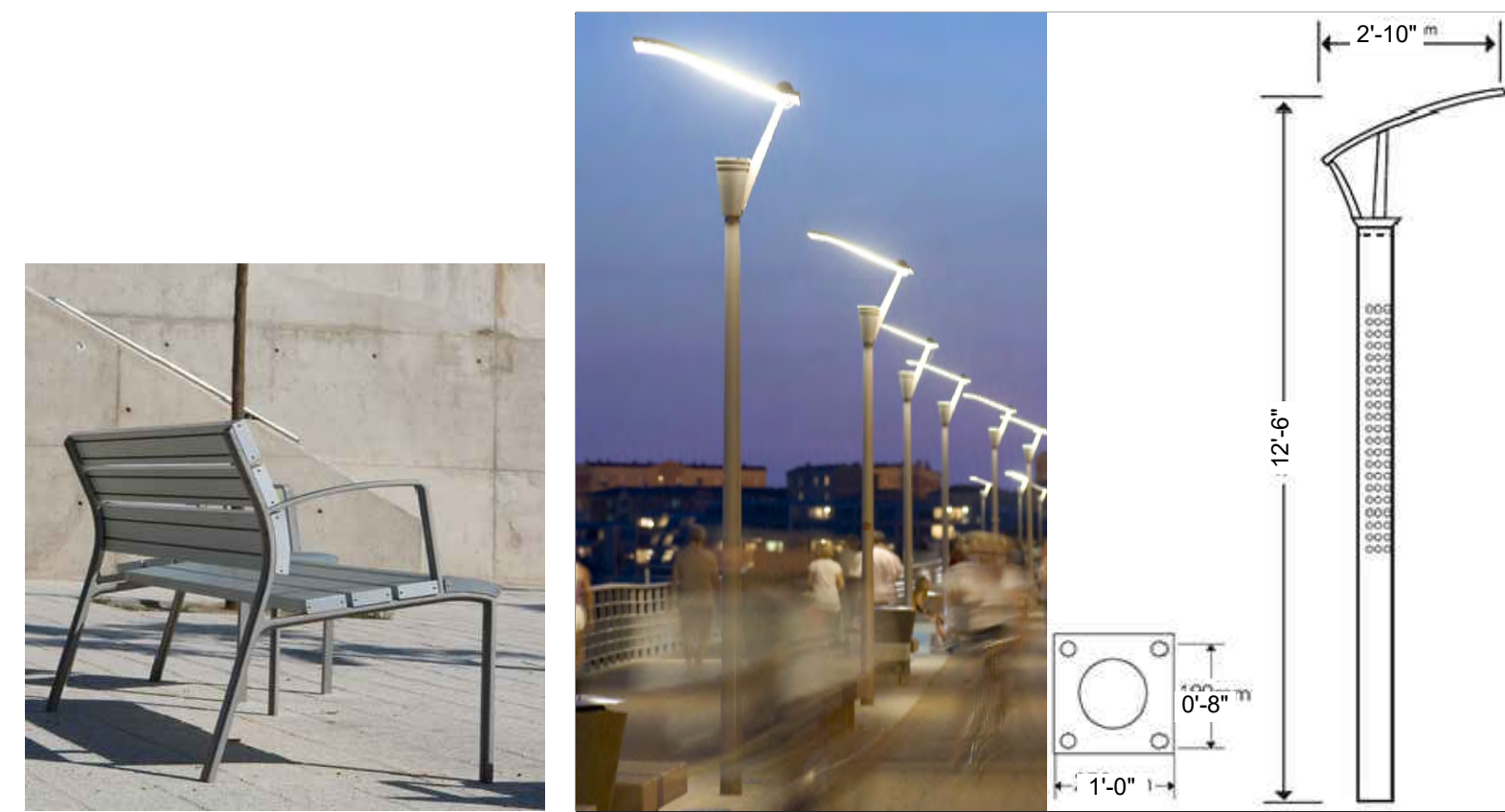


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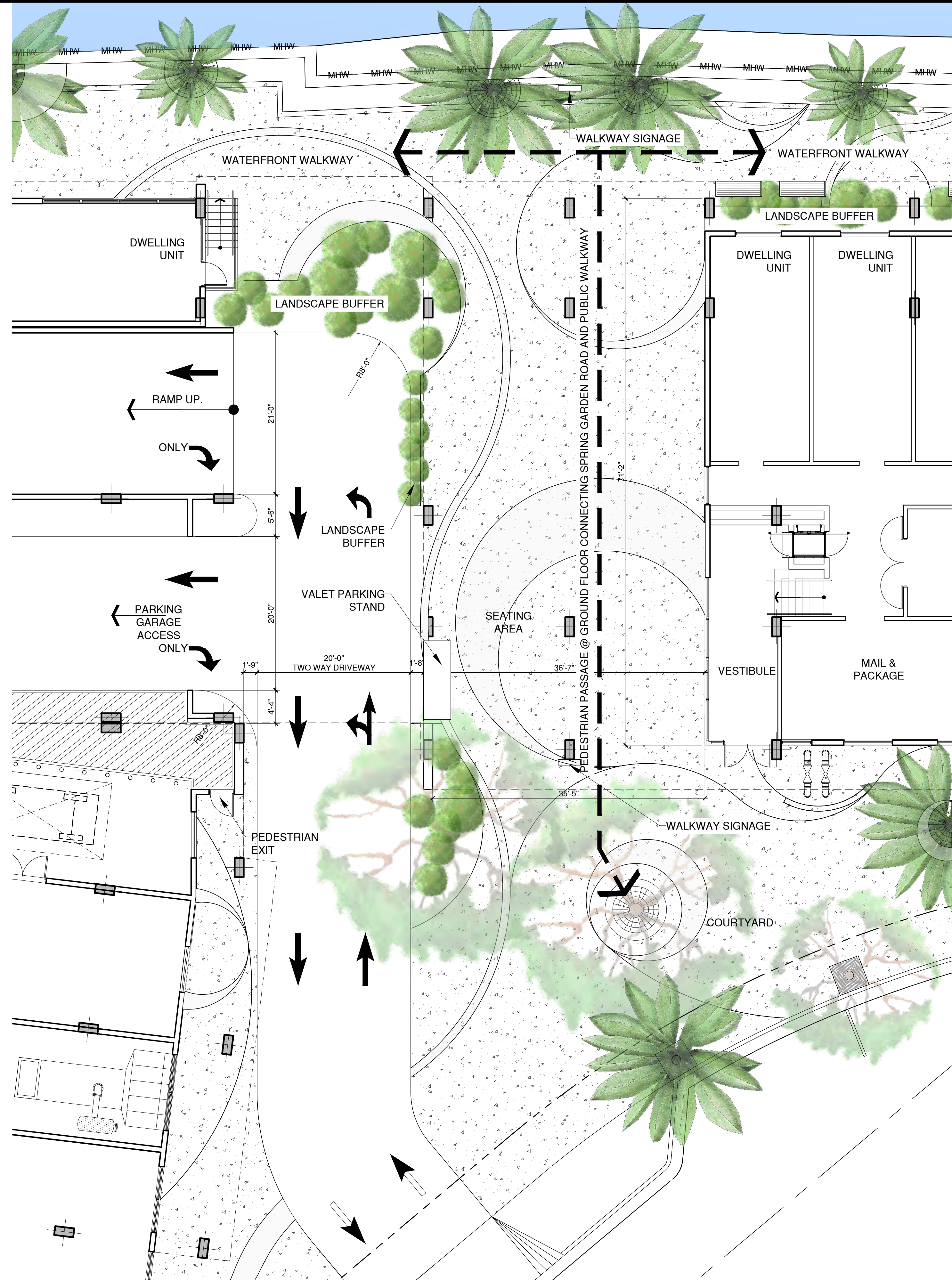
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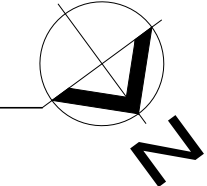
WATERFRONT WALKWAY-3D VIEW



REFERENCE PICTURES
FURNITURE / TREES /
LIGHTS & PAVERS @
GROUND LEVEL



1 SITE DETAIL
A-101.4 SCALE: 1/8" = 1'-0"

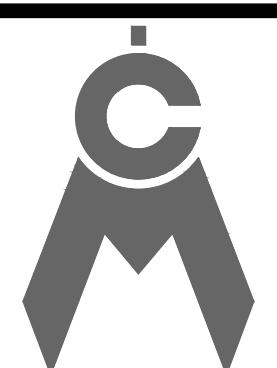


PROJECT No.:	REV. #	DATE
	1	
	2	
DESIGNED BY:	O.M.	
	3	
	4	
DRAWN BY:	5	
	6	
CHECKED BY:	O.M.	
	7	
ISSUE DATE:	07-10-2020	
	8	
	9	
DRAWING SCALE:	AS SHOWN	10

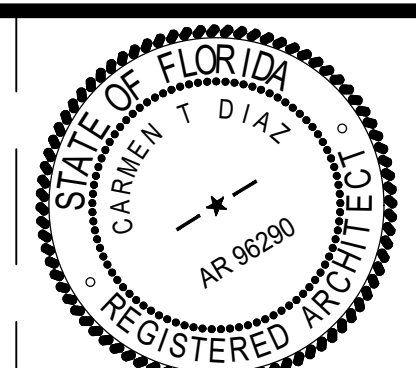
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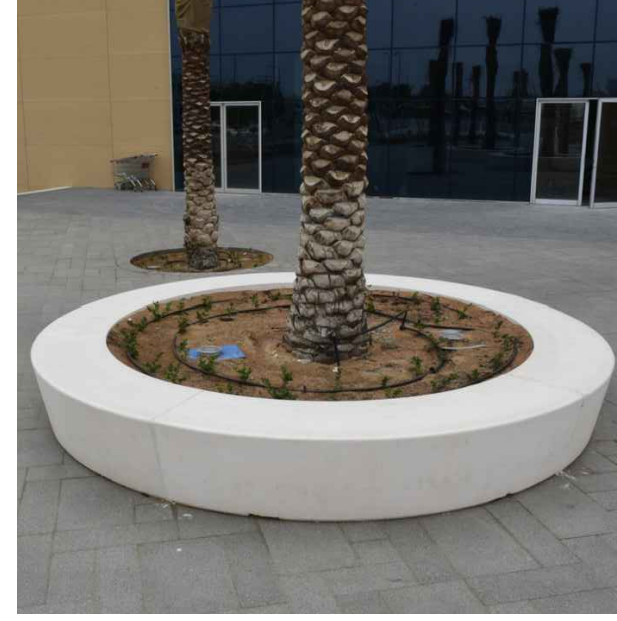
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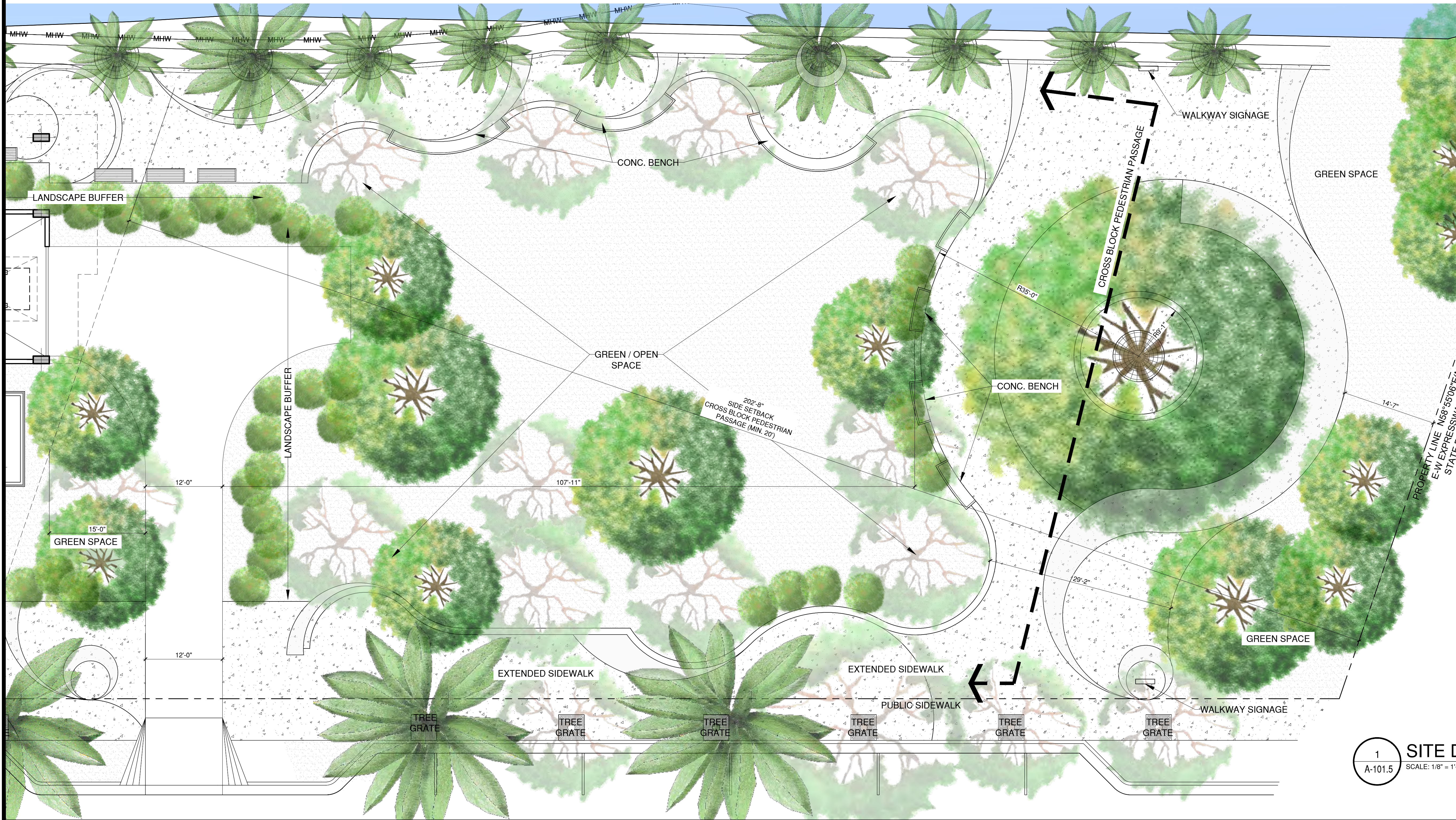
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SHEET No:
A101.4



REFERENCE PICTURES
FURNITURE / TREES / LIGHTS &
PAVERS @ GROUND LEVEL



OPEN SPACE AND BUILDING FACADE
-ILLUSTRATIVE RENDERING-

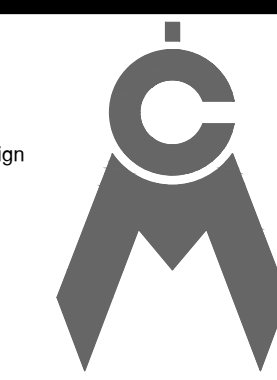
1 SITE DETAIL
A-101.5 SCALE: 1/8" = 1'-0"

PROJECT No.:	REV. #	DATE
DESIGNED BY: O.M.	1	
	2	
	3	
DRAWN BY:	4	
	5	
CHECKED BY: O.M.	6	
	7	
ISSUE DATE: 07-10-2020	8	
	9	
DRAWING SCALE: AS SHOWN	10	

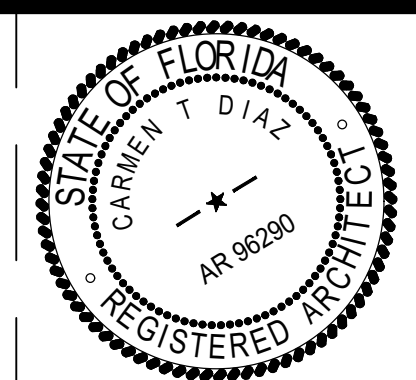
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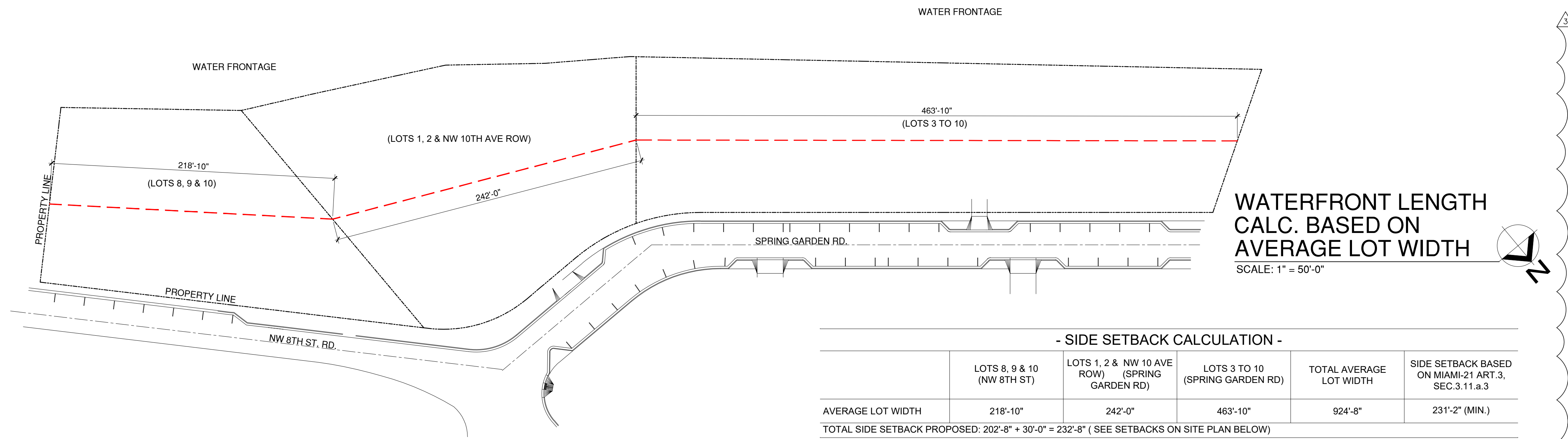


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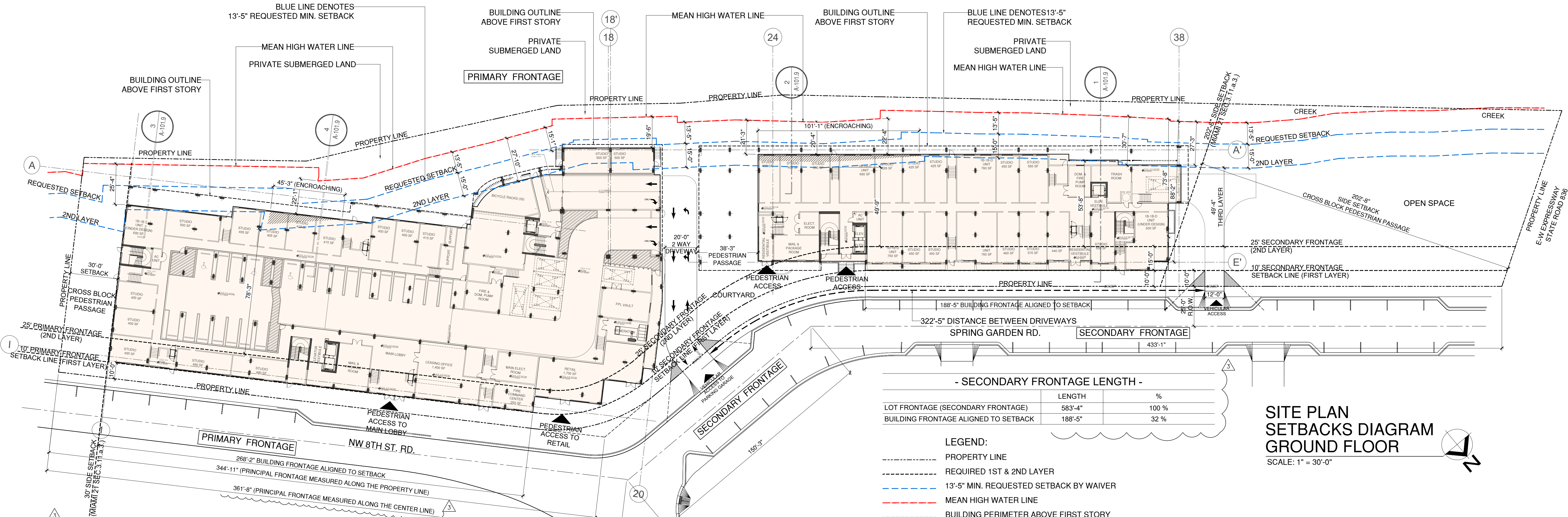
SHEET No:

A101.5



- SIDE SETBACK CALCULATION -

	LOTS 8, 9 & 10 (NW 8TH ST)	LOTS 1, 2 & NW 10 AVE (SPRING GARDEN RD)	LOTS 3 TO 10 (SPRING GARDEN RD)	TOTAL AVERAGE LOT WIDTH	SIDE SETBACK BASED ON MIAMI-21 ART.3, SEC.3.11.a.3
AVERAGE LOT WIDTH	218'-10"	242'-0"	463'-10"	924'-8"	231'-2" (MIN.)
TOTAL SIDE SETBACK PROPOSED:	202'-8" + 30'-0" = 232'-8" (SEE SETBACKS ON SITE PLAN BELOW)				



- SECONDARY FRONTAGE LENGTH -

	LENGTH	%
LOT FRONTAGE (SECONDARY FRONTAGE)	583'-4"	100 %
BUILDING FRONTAGE ALIGNED TO SETBACK	188'-5"	32 %

- PRINCIPAL FRONTAGE LENGTH -

	LENGTH	%
LOT FRONTAGE (PRIMARY FRONTAGE)	361'-8"	100 %
BUILDING FRONTAGE ALIGNED TO SETBACK	268'-2"	74 %

LEGEND:

- PROPERTY LINE
- REQUIRED 1ST & 2ND LAYER
- 13'-5" MIN. REQUESTED SETBACK BY WAIVER
- MEAN HIGH WATER LINE
- BUILDING PERIMETER ABOVE FIRST STORY

WATERFRONT SETBACK REDUCTION WAIVER:

WATERFRONT LENGTH: 930.66' (100%)

GRD. FLOOR ENCROACHMENT: 101'-0" + 45'-3" = 146'-3" (15.7%)

SITE PLAN SETBACKS DIAGRAM GROUND FLOOR
SCALE: 1" = 30'-0"

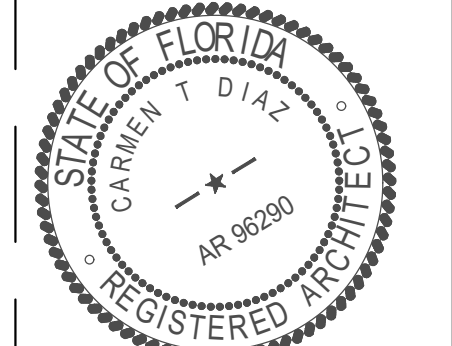
PROJECT No.:	REV. #	DATE
	1	05-20-2021- CITY COMM.
DESIGNED BY:	O.M.	
	2	11-30-2022- CITY COMM.
DRAWN BY:	A	05-04-2023- CITY COMM.
	5	
CHECKED BY:	O.M.	
	6	
ISSUE DATE:		07-10-2020
	7	
	8	
	9	
DRAWING SCALE:	AS SHOWN	10

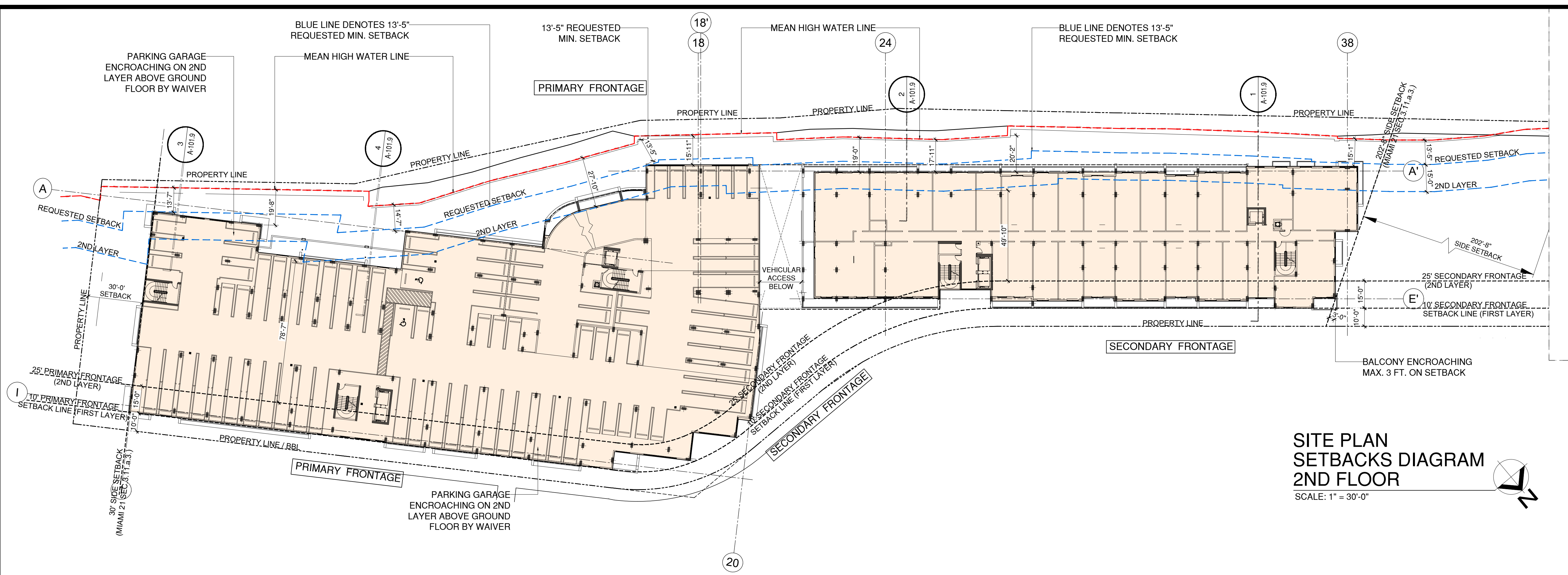
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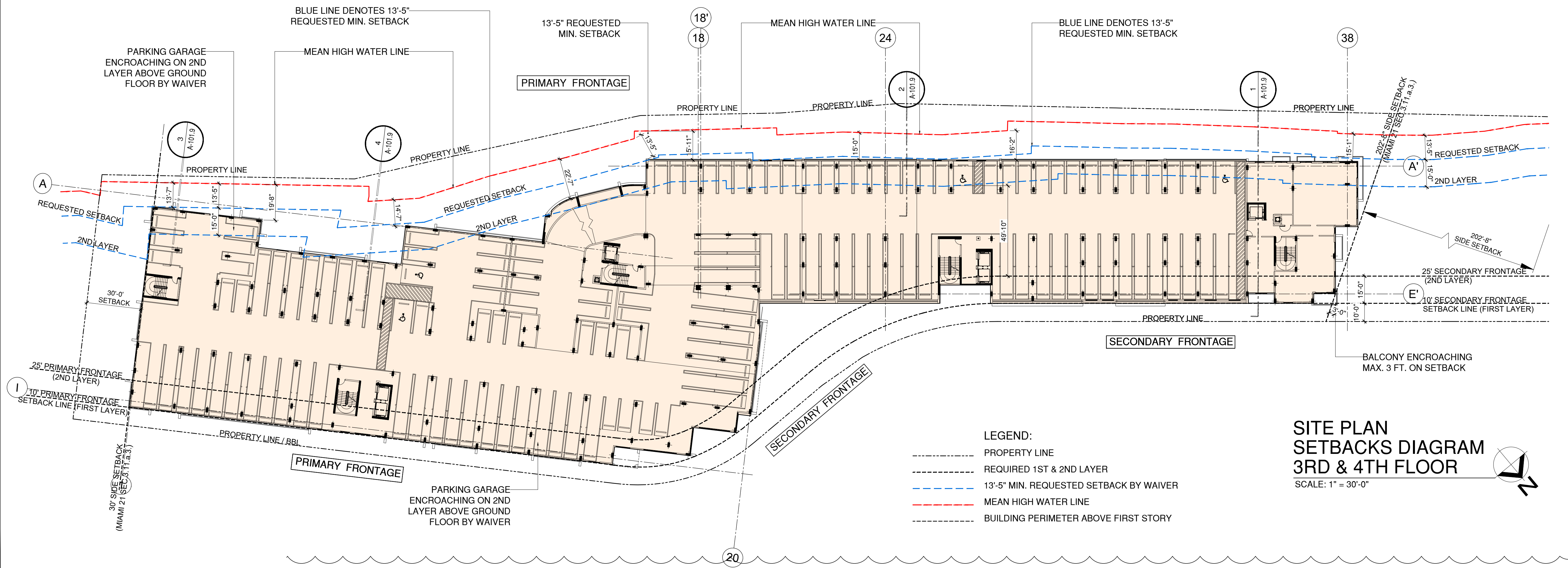
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**SITE PLAN
SETBACKS DIAGRAM
2ND FLOOR**
SCALE: 1" = 30'-0"



- LEGEND:**
- - - - - PROPERTY LINE
 - - - - - REQUIRED 1ST & 2ND LAYER
 - - - - - 13'-5" MIN. REQUESTED SETBACK BY WAIVER
 - - - - - MEAN HIGH WATER LINE
 - - - - - BUILDING PERIMETER ABOVE FIRST STORY

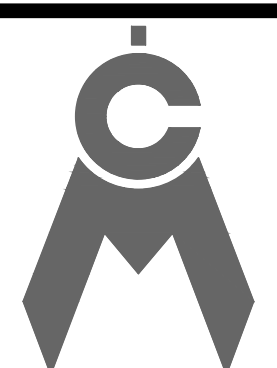
**SITE PLAN
SETBACKS DIAGRAM
3RD & 4TH FLOOR**
SCALE: 1" = 30'-0"

PROJECT No.:	REV. #	DATE
	1	05-20-2021- CITY COMM.
DESIGNED BY:	O.M.	
DRAWN BY:	3	
CHECKED BY:	O.M.	
ISSUE DATE:	07-10-2020	
DRAWING SCALE:	AS SHOWN	

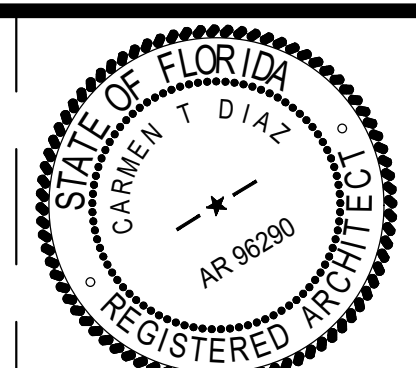
1010 SPRING GARDEN

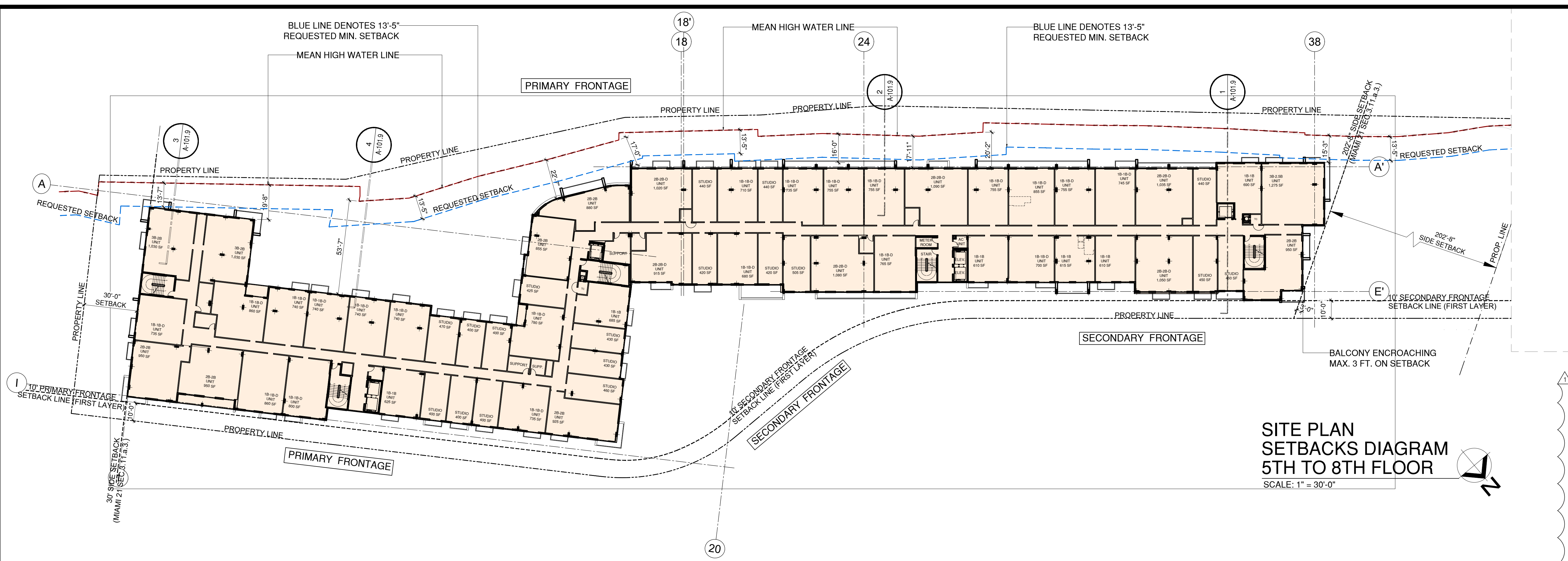
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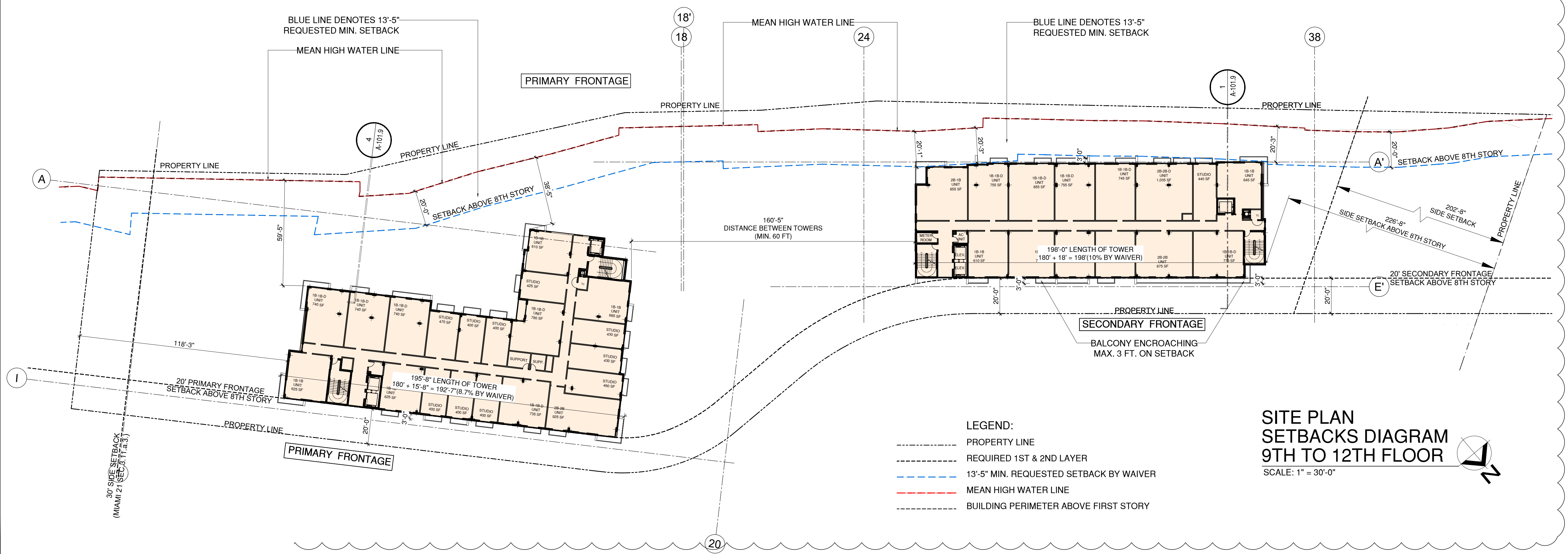


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**SITE PLAN
SETBACKS DIAGRAM
5TH TO 8TH FLOOR**
SCALE: 1" = 30'-0"



**SITE PLAN
SETBACKS DIAGRAM
9TH TO 12TH FLOOR**
SCALE: 1" = 30'-0"

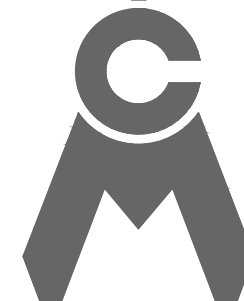
- LEGEND:**
- PROPERTY LINE
 - REQUIRED 1ST & 2ND LAYER
 - 13'-5" MIN. REQUESTED SETBACK BY WAIVER
 - MEAN HIGH WATER LINE
 - BUILDING PERIMETER ABOVE FIRST STORY

PROJECT No.:	REV. #	DATE
DESIGNED BY:	1	05-20-2021- CITY COMM.
DRAWN BY:	2	
CHECKED BY:	3	
ISSUE DATE:	4	
DRAWING SCALE:	5	
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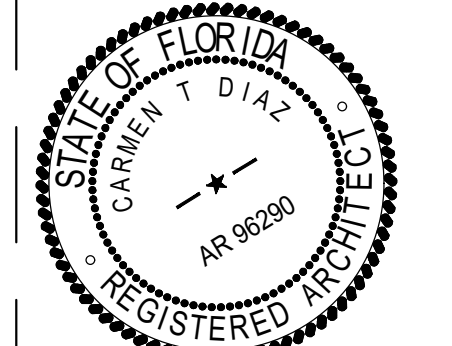
1010 SPRING GARDEN

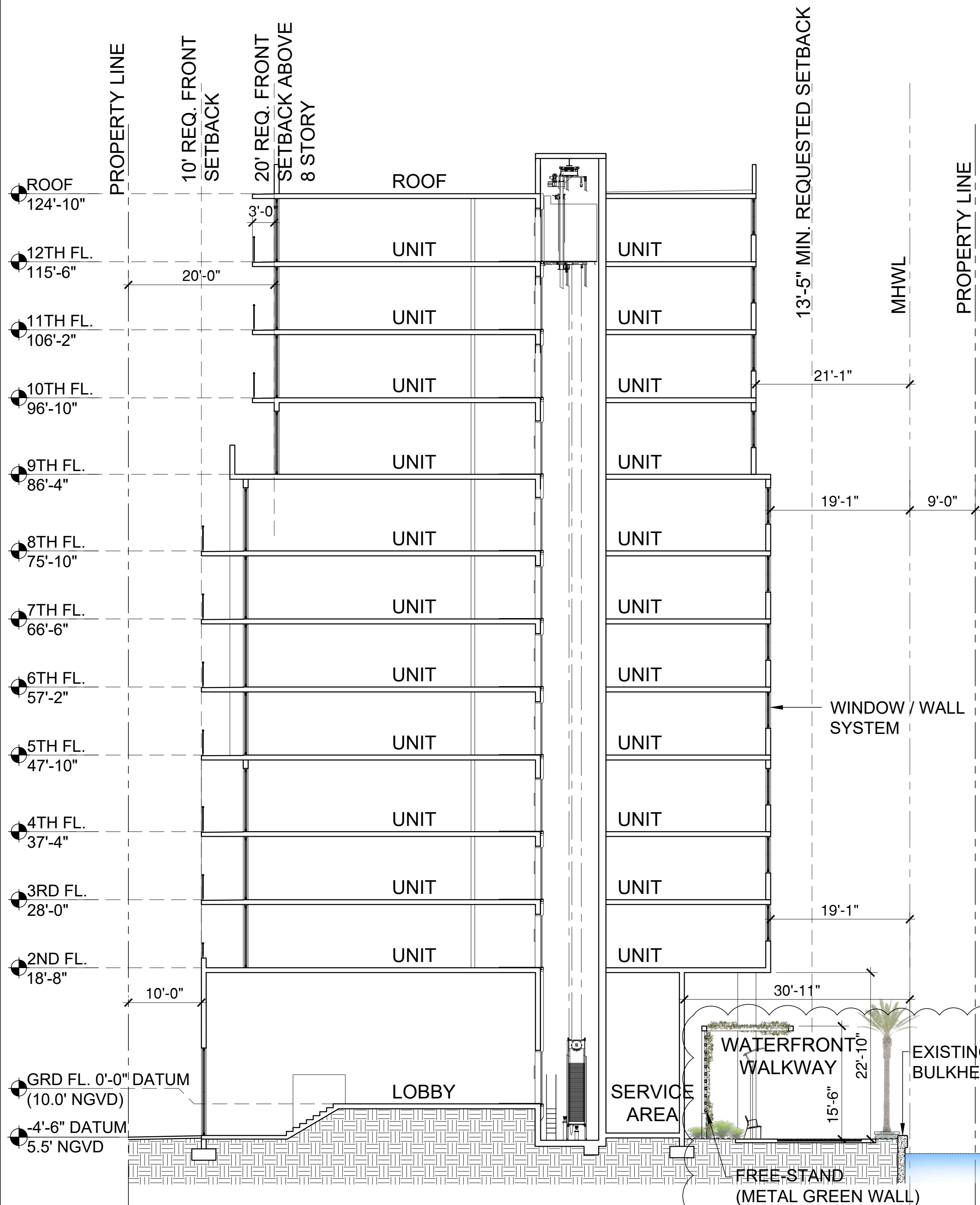
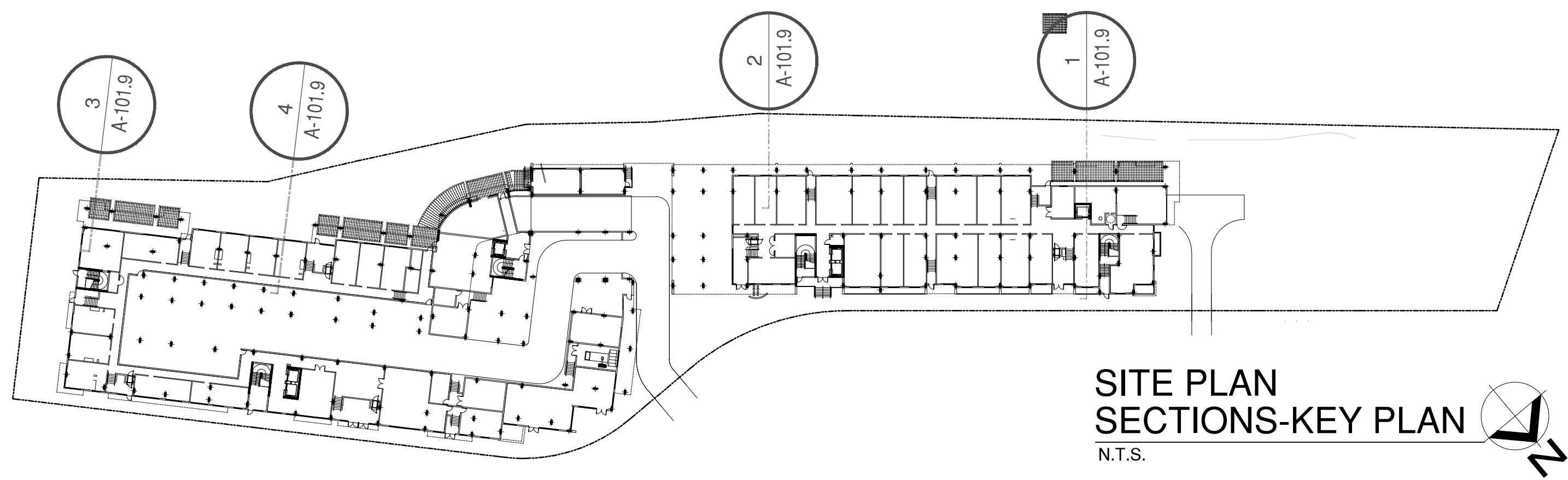
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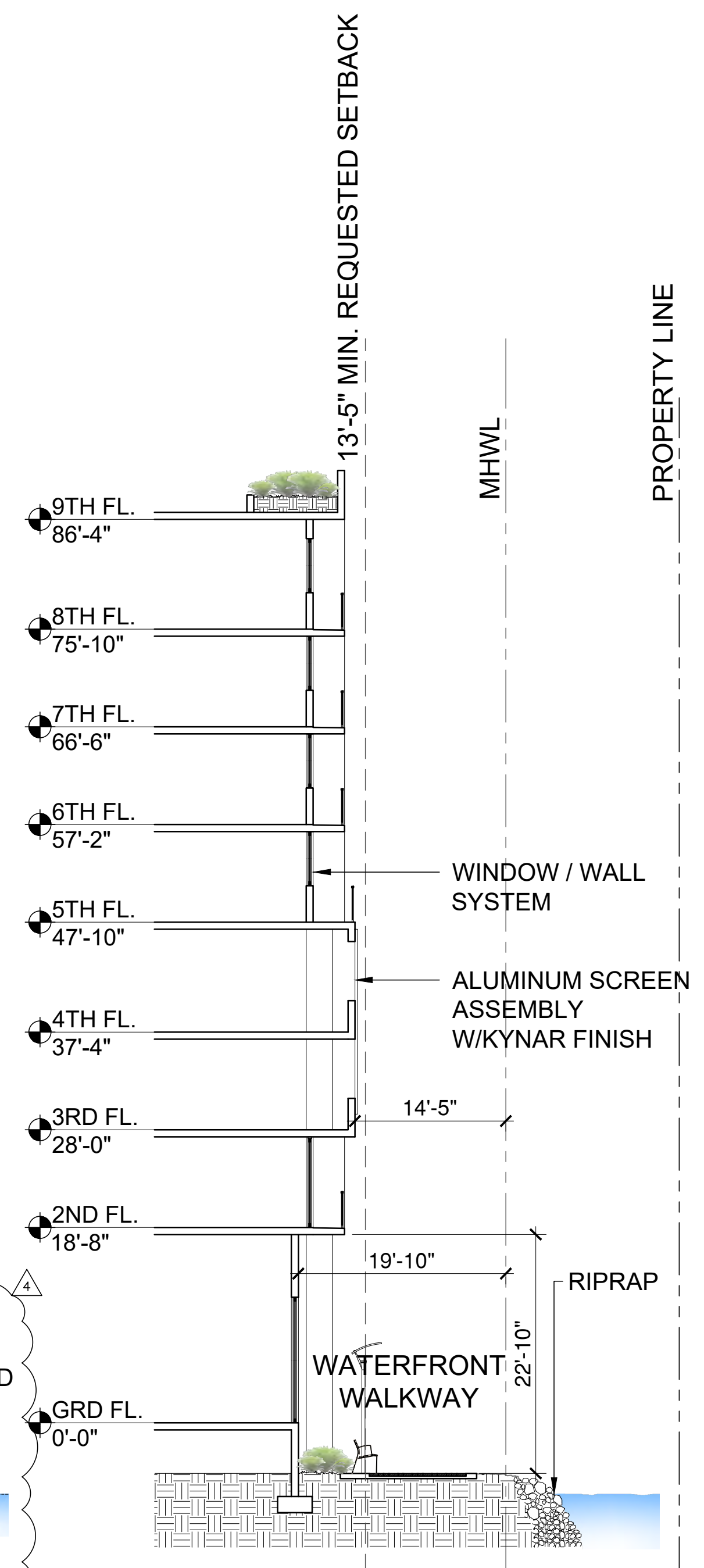


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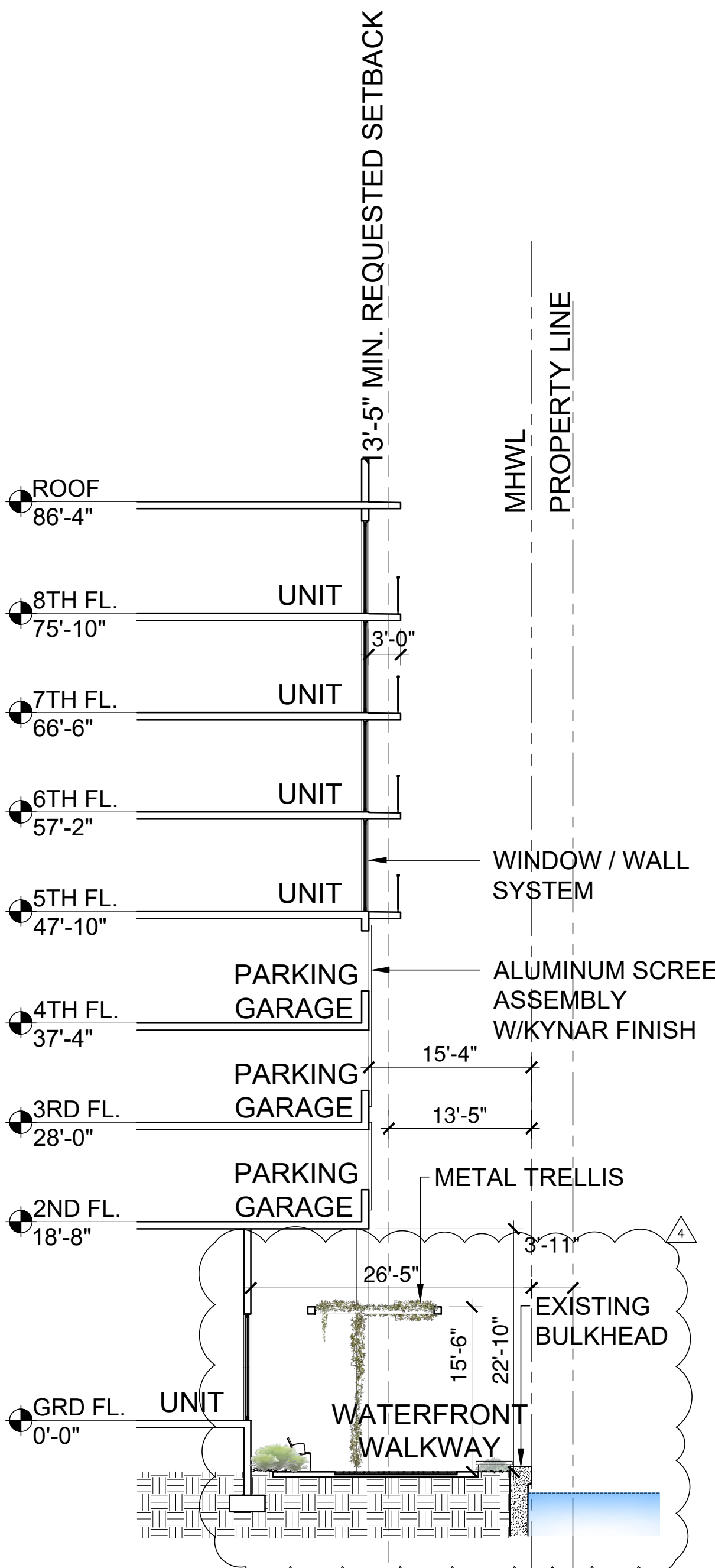




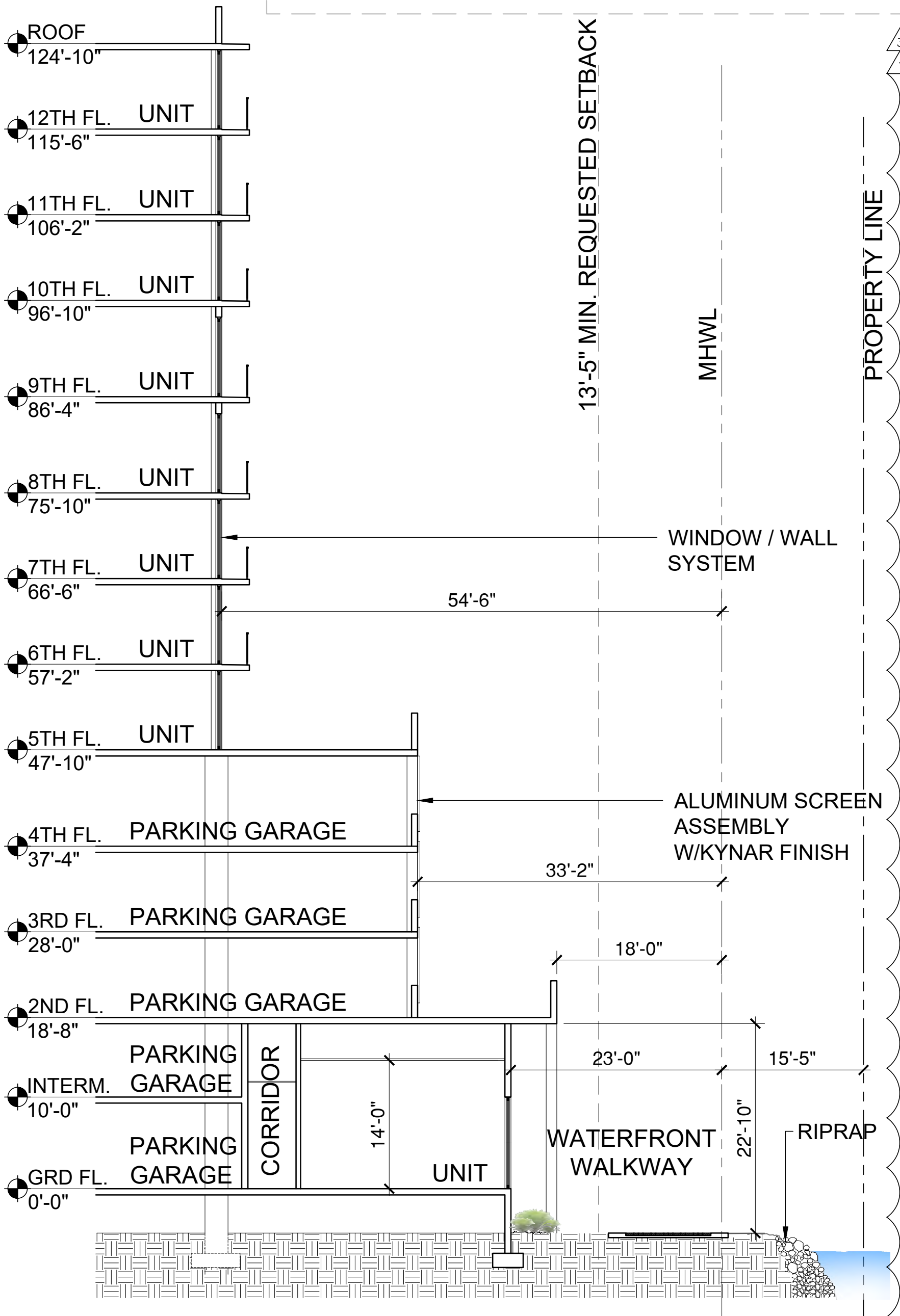
1 WATERFRONT SECTION -1-
A-101.9 SCALE: 3/32" = 1'-0"



2 WATERFRONT SECTION -2-
A-101.9 SCALE: 3/32" = 1'-0"



3 WATERFRONT SECTION -3-
A-101.9 SCALE: 3/32" = 1'-0"



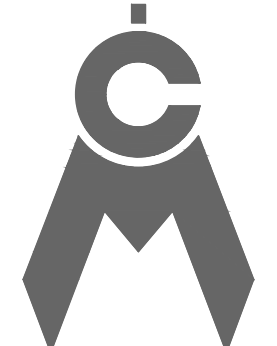
4 WATERFRONT SECTION -4-
A-101.9 SCALE: 3/32" = 1'-0"

PROJECT No.:	REV. #	DATE
	1	05-20-2021- CITY COMM.
DESIGNED BY:	O.M.	11-30-2022- CITY COMM.
DRAWN BY:	4	05-04-2023- CITY COMM.
CHECKED BY:	O.M.	
ISSUE DATE:	07-10-2020	
DRAWING SCALE:	AS SHOWN	

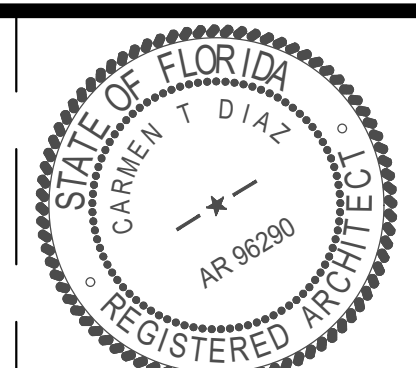
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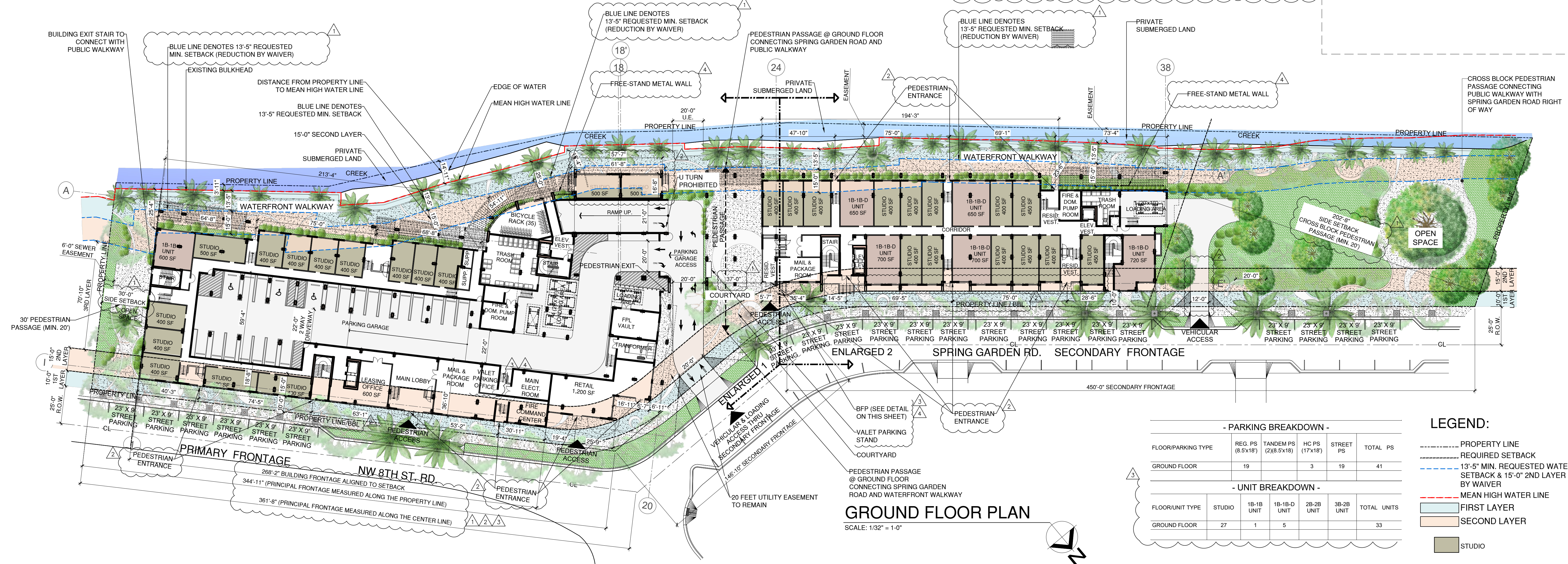
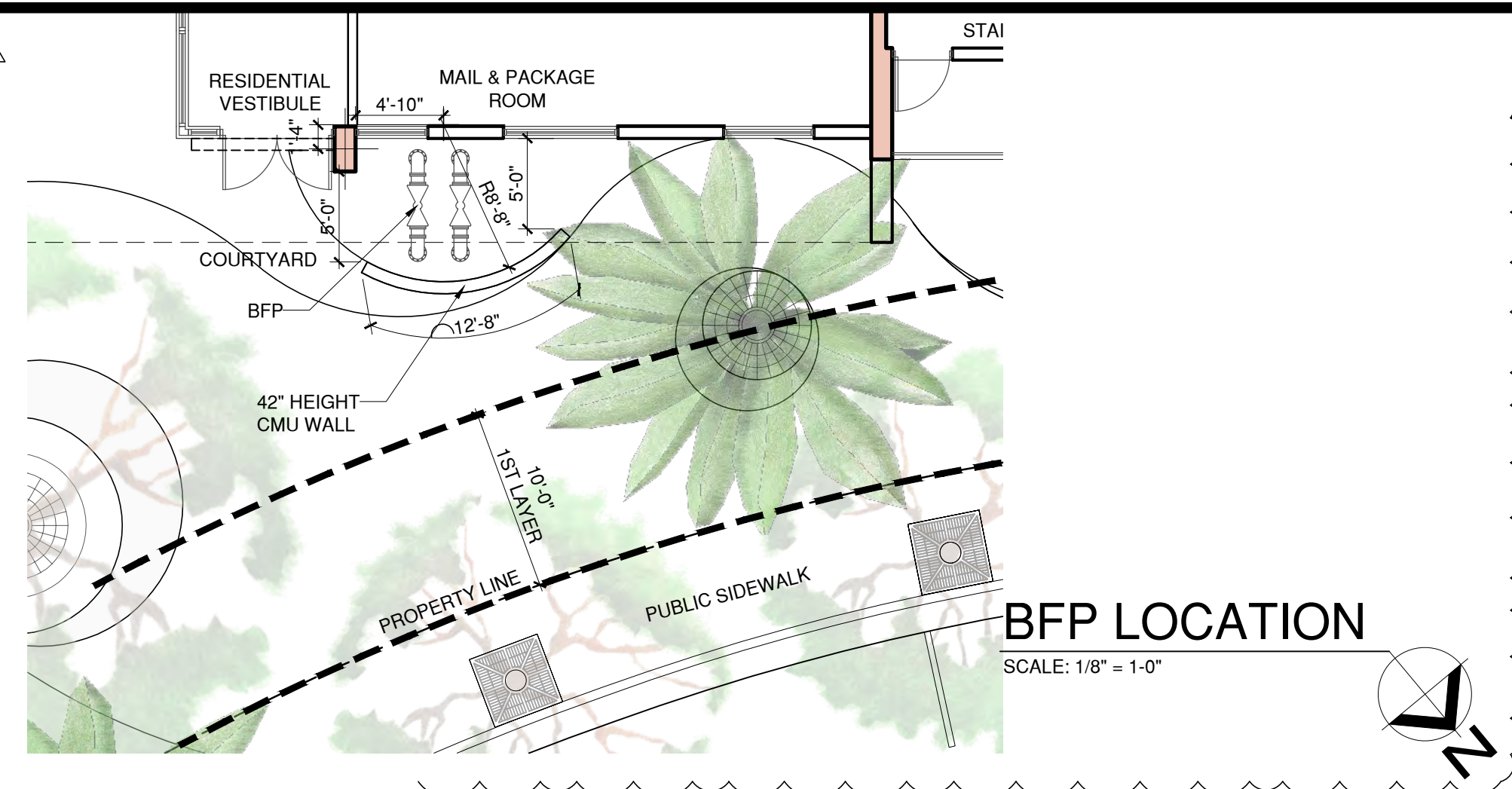
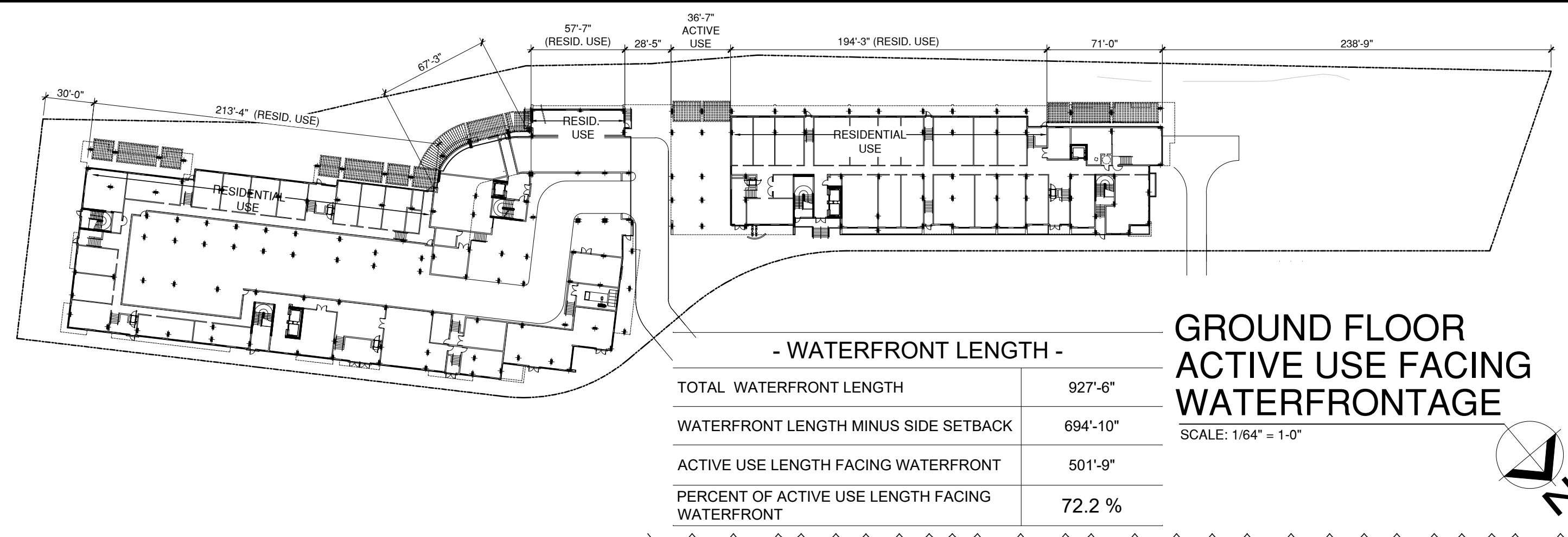
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FAX (305) 669-5041



SHEET No:
A101.9



- PARKING BREAKDOWN -

FLOOR/PARKING TYPE	REG. PS (8.5'x18')	TANDEM PS (2)(8.5'x18')	HC PS (17'x18')	STREET PS	TOTAL PS
GROUND FLOOR	19		3	19	41

- UNIT BREAKDOWN -

FLOOR/UNIT TYPE	STUDIO	1B-1B UNIT	1B-1B-D UNIT	2B-2B UNIT	3B-2B UNIT	TOTAL UNITS
GROUND FLOOR	27	1	5			33

- LEGEND:**
- PROPERTY LINE
 - REQUIRED SETBACK
 - 13'-5" MIN. REQUESTED WATERFRONT SETBACK & 15'-0" 2ND LAYER LINE BY WAIVER
 - MEAN HIGH WATER LINE
 - FIRST LAYER
 - SECOND LAYER
 - STUDIO
 - 1B-1B UNIT
 - 1B-1B-D UNIT
 - 2B-2B UNIT
 - 3B-2B UNIT
 - PARKING GARAGE
 - OFFICE / AMENITY

- SIDE SETBACK CALCULATION -

	LOTS 8, 9 & 10 (NW 8TH ST)	LOTS 1, 2 & NW 10 AVE ROW (SPRING GARDEN RD)	LOTS 3 TO 10 (SPRING GARDEN RD)	TOTAL
AVERAGE LOT WIDTH	218'-8"	244'-11"	463'-11"	927'-6"
SIDE SETBACK BASED ON AVERAGE LOT WIDTH	54'-8"	61'-3"	116'-0"	231'-11" MIN. SIDE SETBACK REQ.
25% OF THE WATER FRONTAGE OF EACH LOT BASED ON AVERAGE LOT WIDTH. TO ALLOW VIEW CORRIDORS OPEN FROM GROUND TO SKY AND TO ALLOW PUBLIC ACCESS TO THE WATERFRONT				
TOTAL SIDE SETBACK PROPOSED: 202'-8" + 30'-0" = 232'-8" (SEE SETBACKS ON SITE PLAN BELOW)				

- PRINCIPAL FRONTAGE LENGTH -

	LENGTH	%
LOT FRONTAGE (PRIMARY FRONTAGE)	361'-8"	100 %
MIN. FRONTAGE REQUIRED	253'-2"	70 %
BUILDING FRONTAGE ALIGNED TO SETBACK	268'-2"	74 %

1010 SPRING GARDEN

MIAMI, FL. 33136

REV. #	DATE
1	05-20-2021- CITY COMM.
2	06-17-2022- CITY COMM.
3	11-30-2022- CITY COMM.
4	05-04-2023- CITY COMM.

PROJECT No.:
DESIGNED BY: O.M.
DRAWN BY: 5
CHECKED BY: O.M.
ISSUE DATE: 07-10-2020
DRAWING SCALE: AS SHOWN

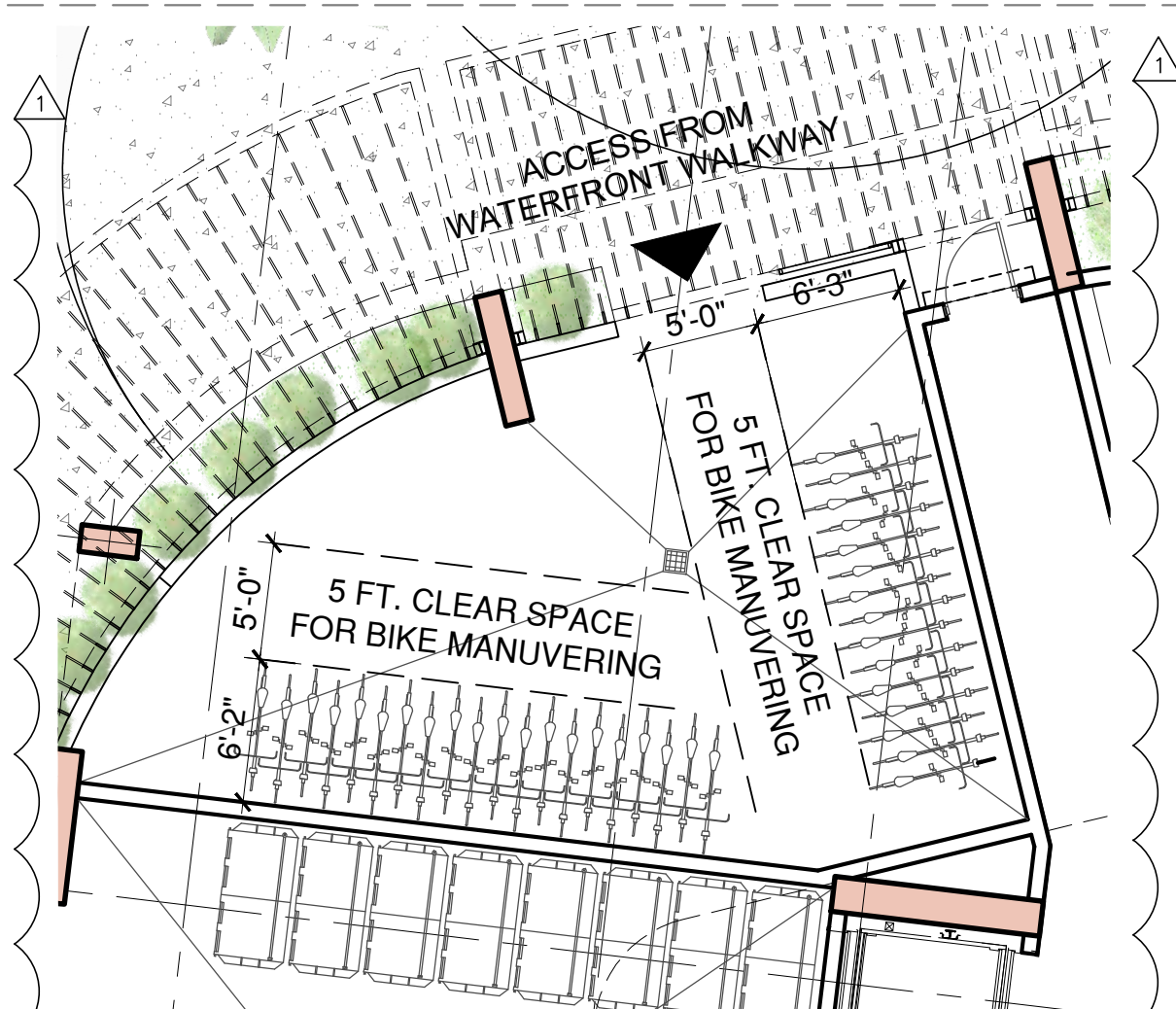
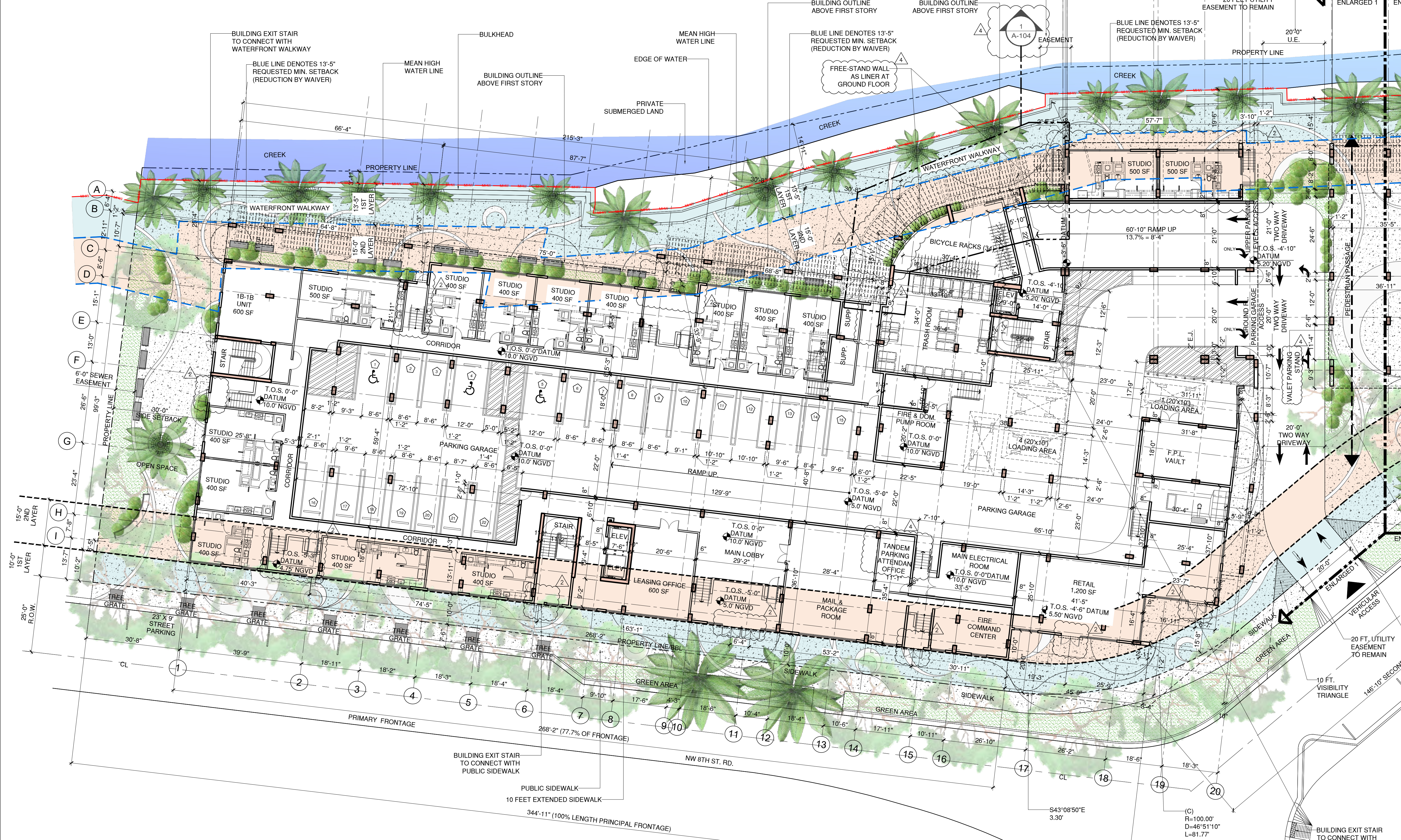
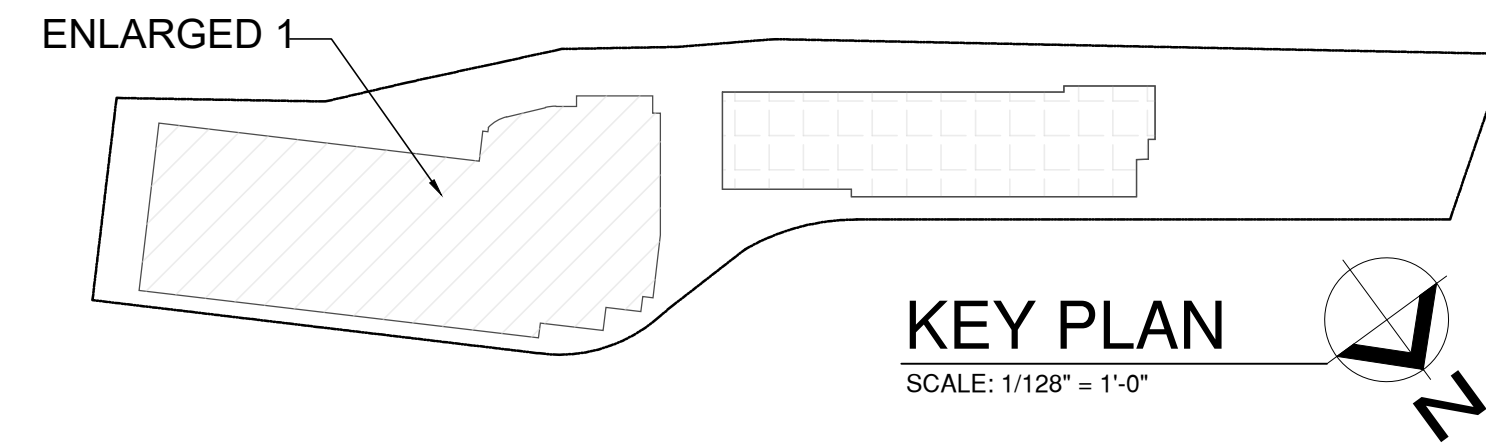
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STATE OF FLORIDA
CARMEN T. DIAZ
REGISTERED ARCHITECT
AR 96290

SHEET No:
A-102
WAIVER SET

GROUND FLOOR PLAN - OVERALL



BIKE PARKING DIAGRAM (35)
SCALE: 1/8" = 1'-0"

GROUND FLOOR PLAN ENLARGED 1
SCALE: 1/16" = 1'-0"

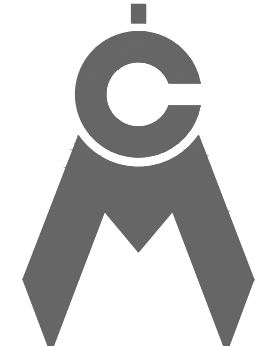
GROUND FLOOR - ENLARGED 1

PROJECT No.:	REV. #	DATE
DESIGNED BY:	1	05-20-2021 - CITY COMM.
DRAWN BY:	2	06-17-2022 - CITY COMM.
CHECKED BY:	3	05-04-2023 - CITY COMM.
ISSUE DATE:	4	
DRAWING SCALE:	5	
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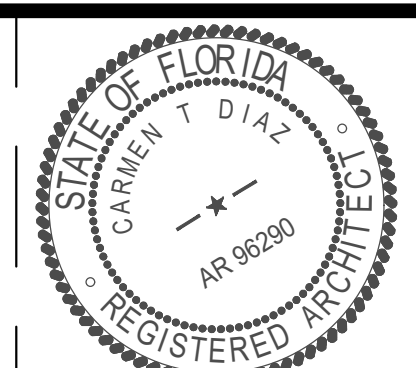
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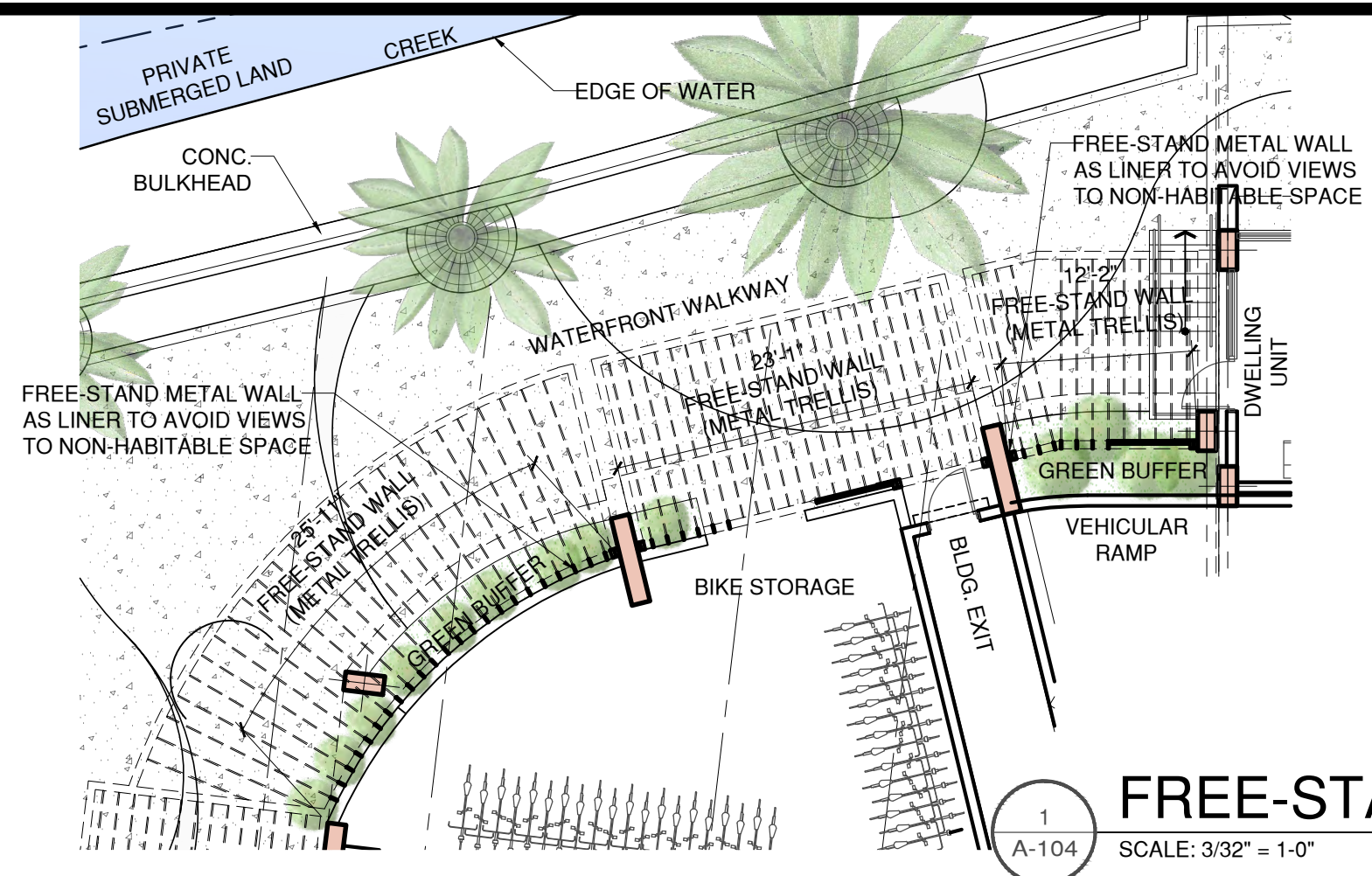
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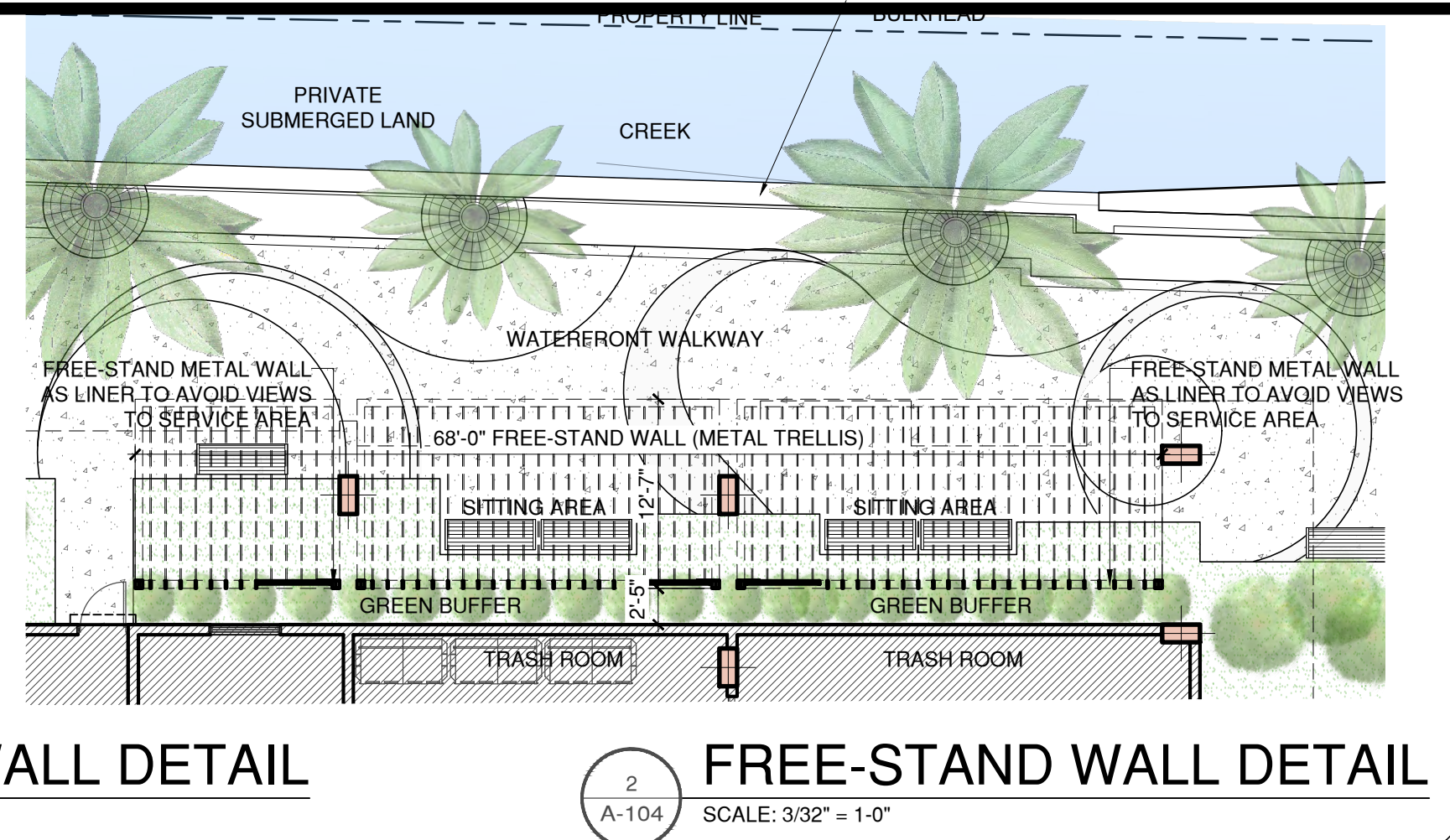
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FAX: (305) 669-5041



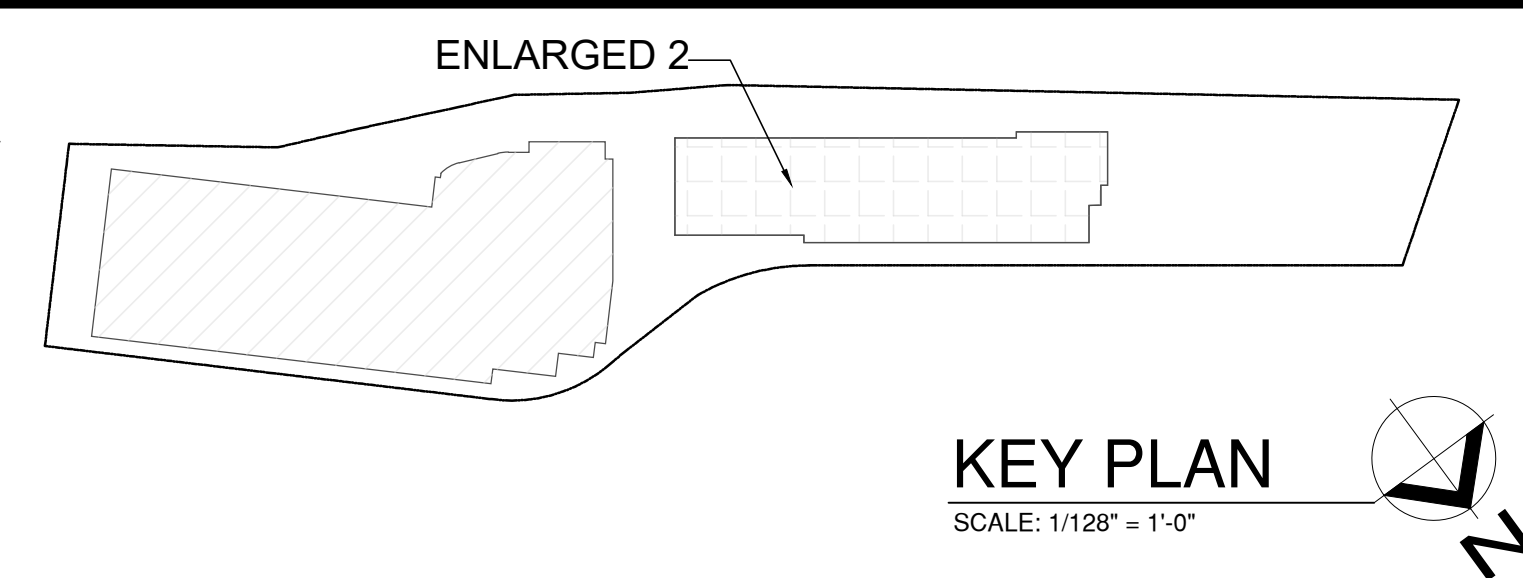
SHEET No:
A-103
WAIVER SET



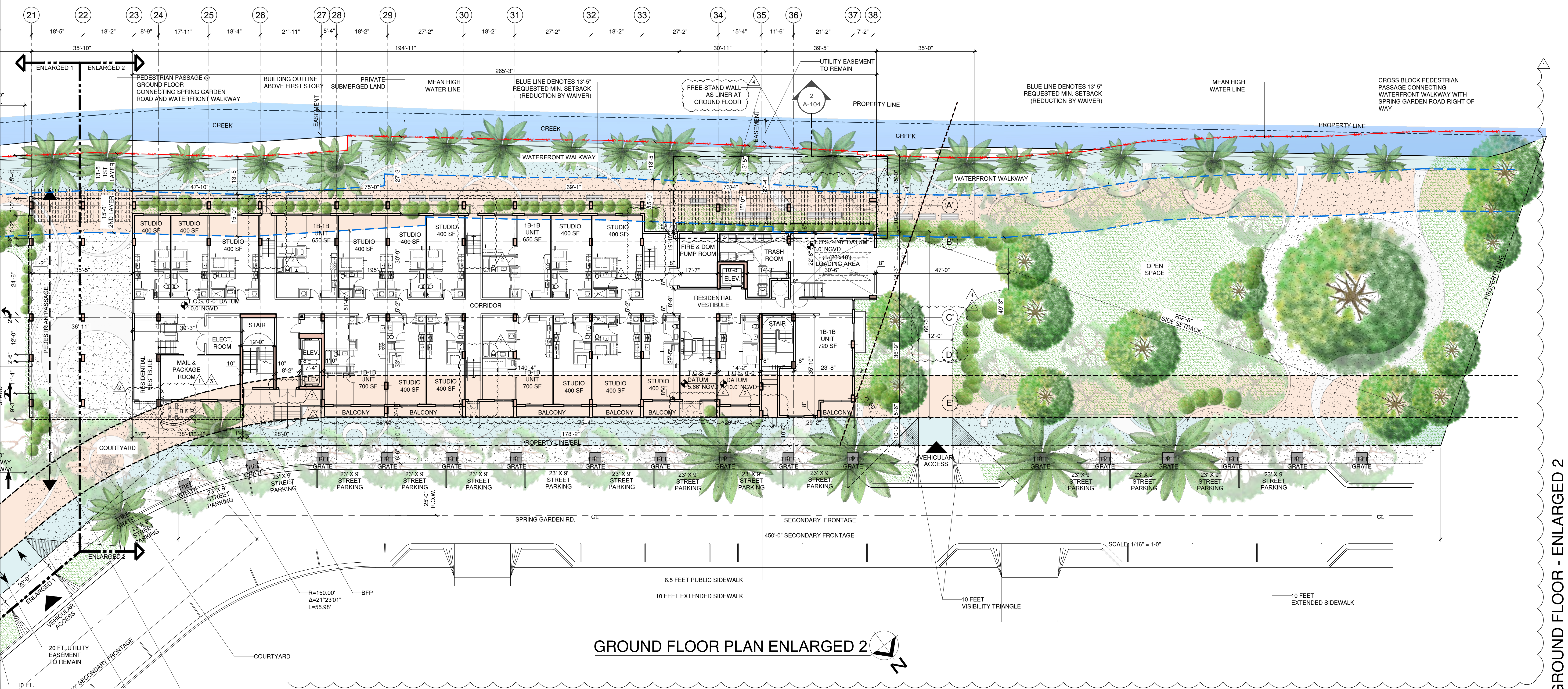
FREE-STAND WALL DETAIL
A-104 SCALE: 3/32" = 1'-0"



FREE-STAND WALL DETAIL
A-104 SCALE: 3/32" = 1'-0"



KEY PLAN
SCALE: 1/128" = 1'-0"



GROUND FLOOR PLAN ENLARGED 2

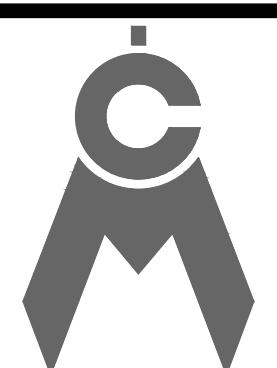
REV. #	DATE
1	05-20-2021- CITY COMM.
2	06-17-2022- CITY COMM.
3	05-04-2023- CITY COMM.
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5	
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8	
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PROJECT No.:	
DESIGNED BY:	O.M.
DRAWN BY:	5
CHECKED BY:	O.M.
ISSUE DATE:	07-10-2020
DRAWING SCALE:	AS SHOWN

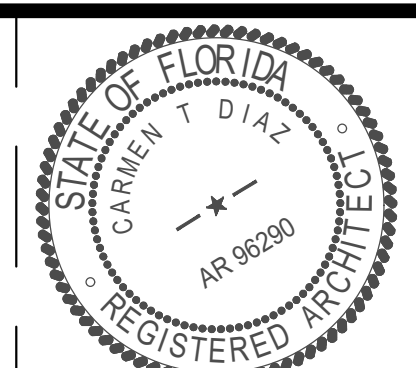
1010 SPRING GARDEN

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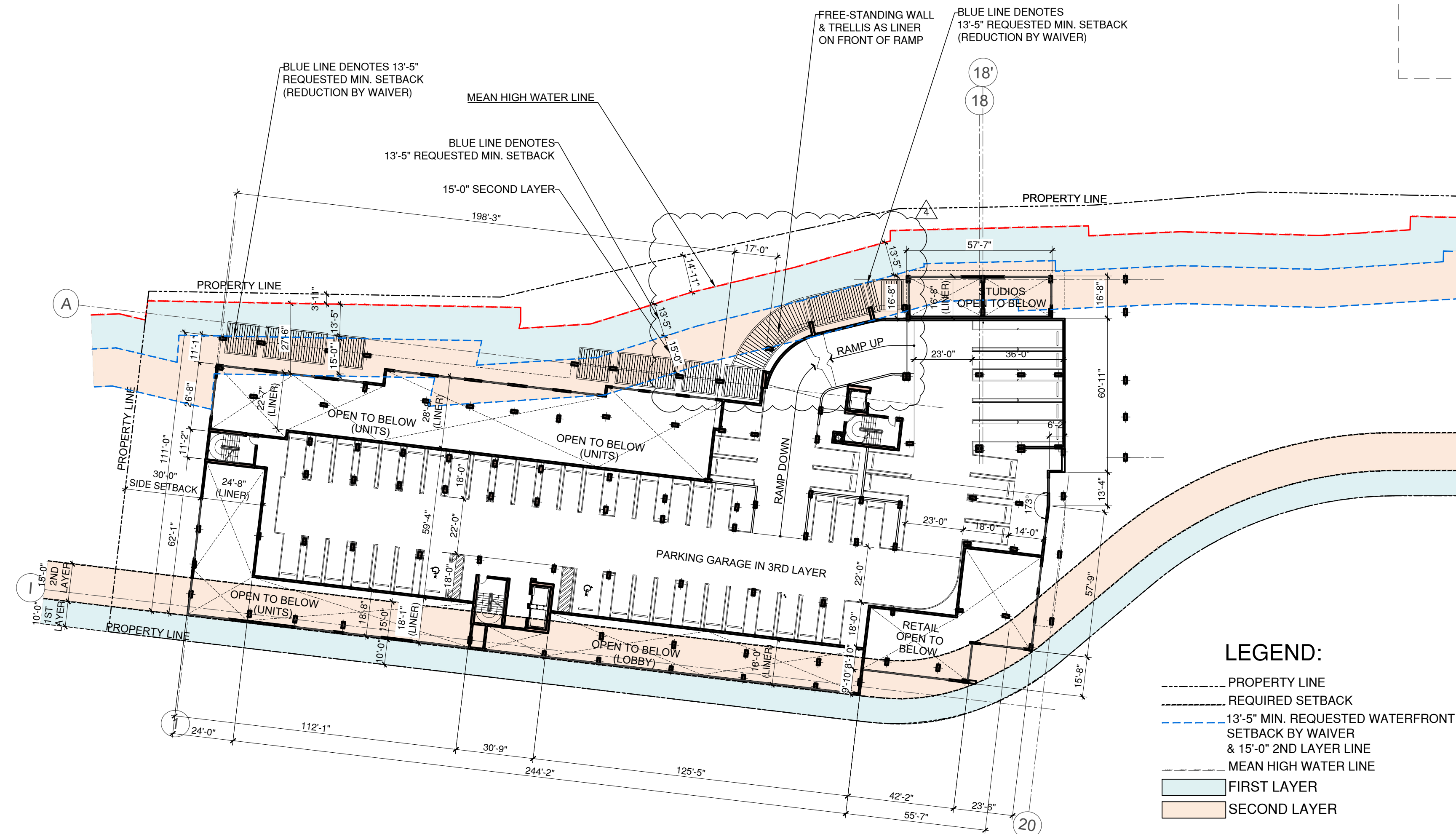


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SHEET No:
A-104
WAIVER SET

GROUND FLOOR - ENLARGED 2



- LEGEND:**
- PROPERTY LINE
 - REQUIRED SETBACK
 - 13'-5" MIN. REQUESTED WATERFRONT SETBACK BY WAIVER & 15'-0" 2ND LAYER LINE
 - MEAN HIGH WATER LINE
 - FIRST LAYER
 - SECOND LAYER

- PARKING BREAKDOWN -

FLOOR/PARKING TYPE	REG. PS (6.5x18)	TANDEM PS (2)(8.5x18)	HC PS (17x18)	STREET PS	TOTAL PS
INTERMEDIATE LEVEL	48	10	2		60

INTERMEDIATE LEVEL PLAN

SCALE: 1/32" = 1'-0"

PARKING LEVEL CONCEALED BY A RETAIL SPACE AND RESIDENTIAL LINER AS PER MIAMI 21 SEC. 3.5.2

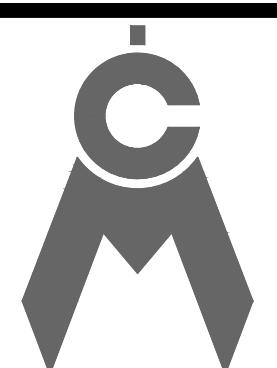
INTERMEDIATE FLOOR PLAN

PROJECT No.:	REV. #	DATE
	1	12/10/2020 LAND DEVELOP. COMM.
DESIGNED BY:	O.M.	2
	3	11-30-2022- CITY COMM.
DRAWN BY:	O.M.	4
	5	05-04-2023- CITY COMM.
CHECKED BY:	O.M.	6
	7	
ISSUE DATE:		07-10-2020
		8
		9
DRAWING SCALE:	AS SHOWN	10

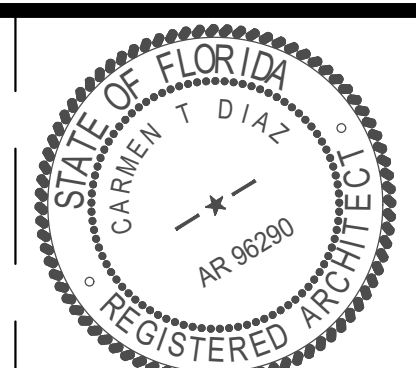
1010 SPRING GARDEN

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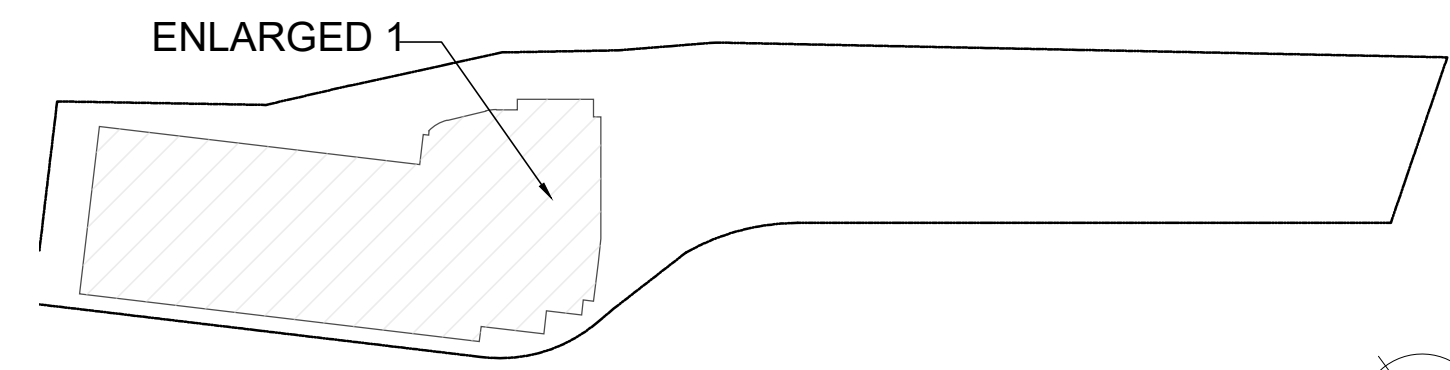
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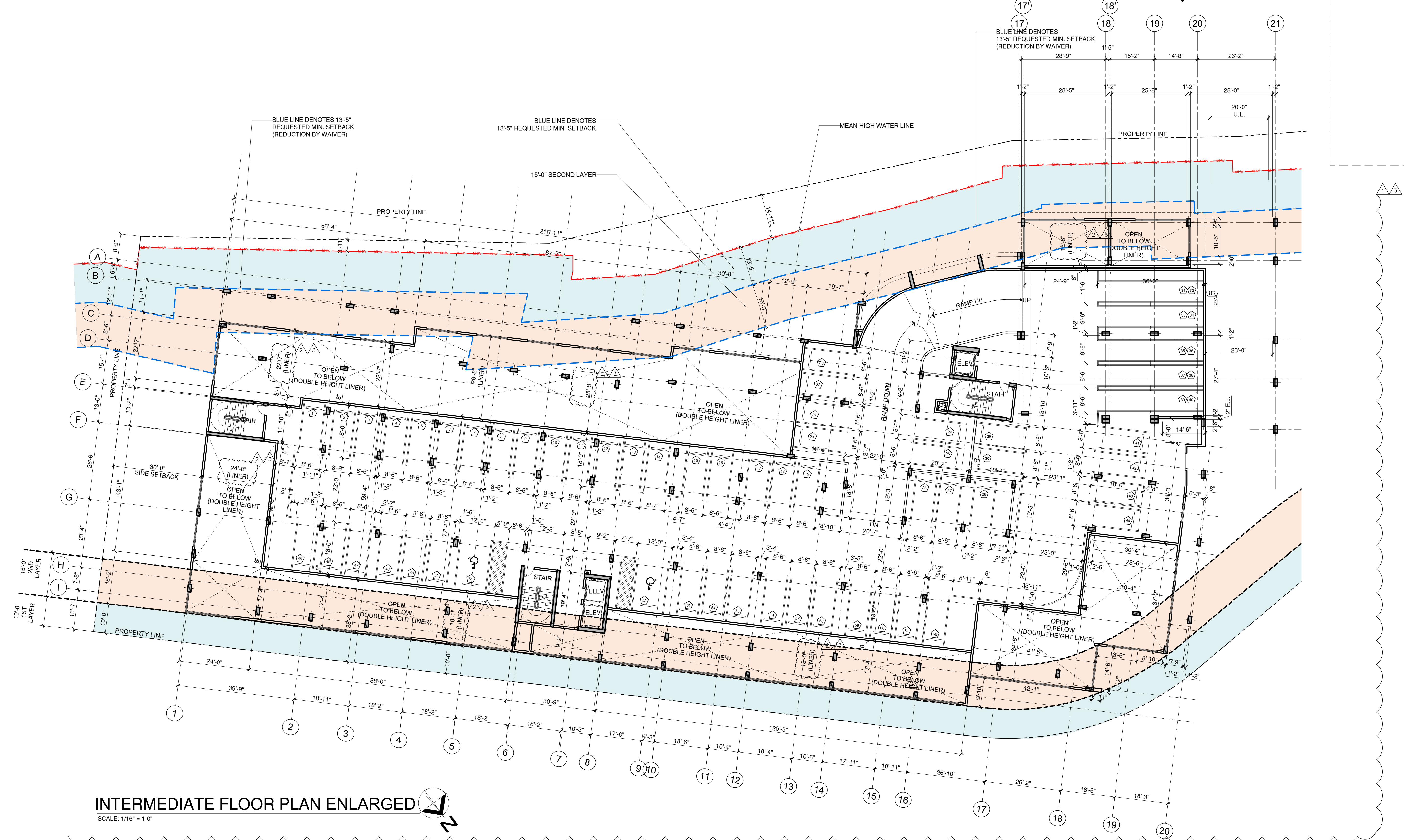
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SHEET No:
A-105
 WAIVER SET



KEY PLAN
SCALE: 1/128" = 1'-0"



INTERMEDIATE FLOOR PLAN ENLARGED
SCALE: 1/16" = 1'-0"

INTERMEDIATE FLOOR PLAN - ENLARGED

PROJECT No.:	REV. #	DATE
	1	05-20-2021- CITY COMM.
DESIGNED BY:	O.M.	06-17-2022- CITY COMM.
	2	11-30-2022- CITY COMM.
DRAWN BY:	4	
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CHECKED BY:	O.M.	6
	7	
ISSUE DATE:	07-10-2020	8
	9	
DRAWING SCALE:	AS SHOWN	10

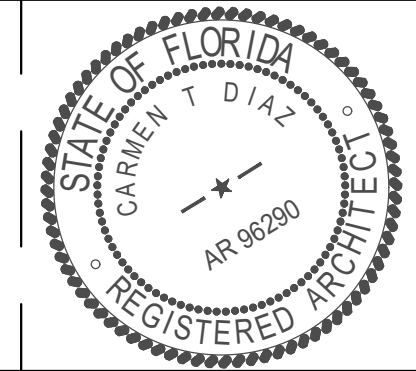
1010 SPRING GARDEN

MIAMI, FL. 33136

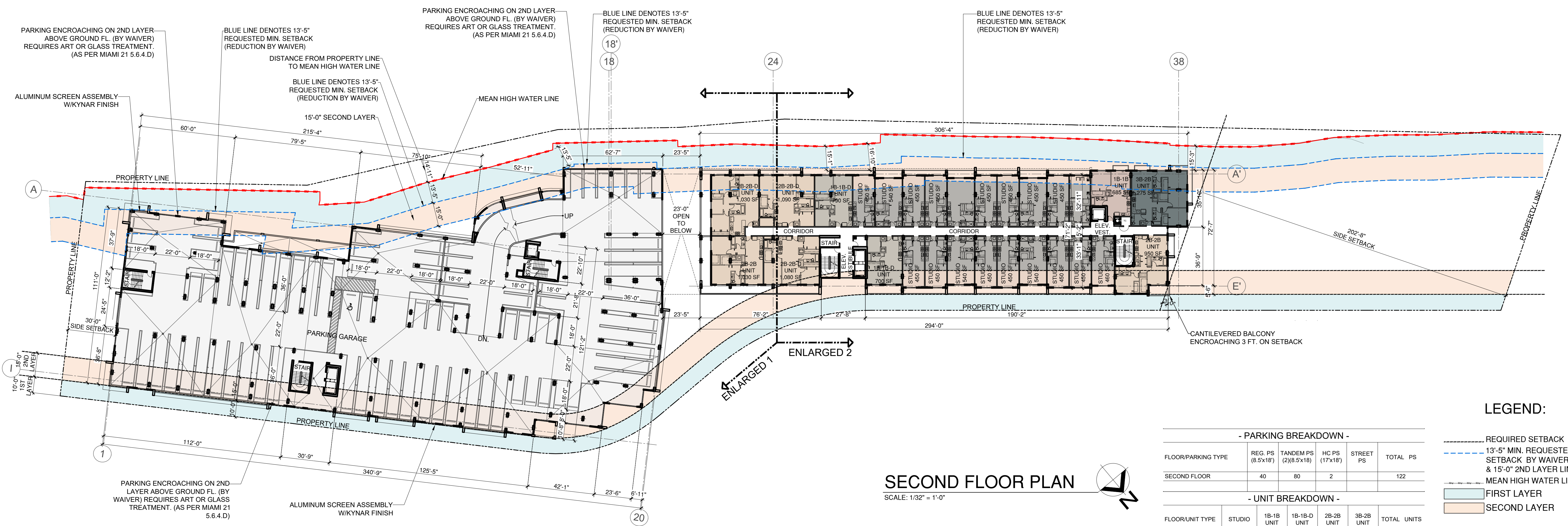
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SHEET No:
A-106
WAIVER SET



- PARKING BREAKDOWN -

FLOOR/PARKING TYPE	REG. PS (8.5'x18')	TANDEM PS (2)(8.5'x18')	HC PS (17'x18')	STREET PS	TOTAL PS
SECOND FLOOR	40	80	2		122

- UNIT BREAKDOWN -

FLOOR/UNIT TYPE	STUDIO	1B-1B UNIT	1B-1B-D UNIT	2B-2B UNIT	3B-2B UNIT	TOTAL UNITS
SECOND FLOOR	19	1	2	5	1	28

- LEGEND:**
- REQUIRED SETBACK
 - 13'-5" MIN. REQUESTED WATERFRONT SETBACK BY WAIVER & 15'-0" 2ND LAYER LINE
 - MEAN HIGH WATER LINE
 - FIRST LAYER
 - SECOND LAYER
 - STUDIO
 - 1B-1B UNIT
 - 1B-1B-D UNIT
 - 2B-2B UNIT
 - 3B-2B UNIT
 - PARKING GARAGE

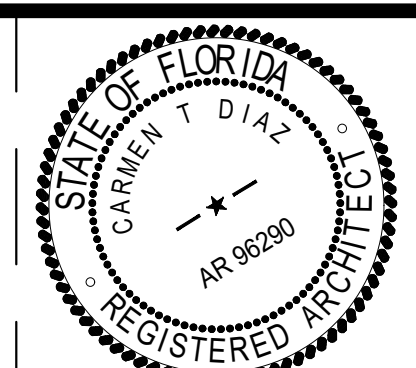
PROJECT No.:	REV. #	DATE
	1	12/10/2020 LAND DEVELOP. COMM.
DESIGNED BY:	O.M.	
DRAWN BY:		
CHECKED BY:	O.M.	
ISSUE DATE:		07-10-2020
DRAWING SCALE:	AS SHOWN	

1010 SPRING GARDEN

MIAMI, FL. 33136

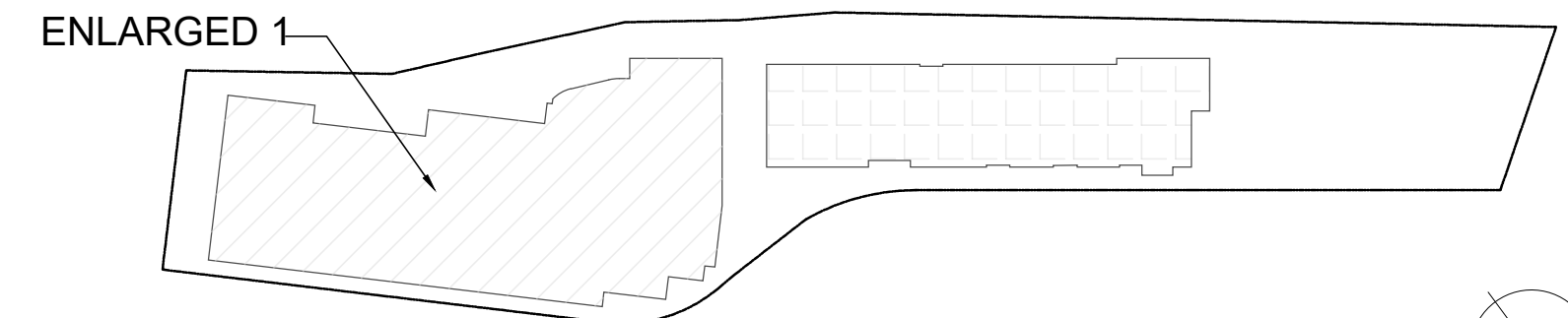
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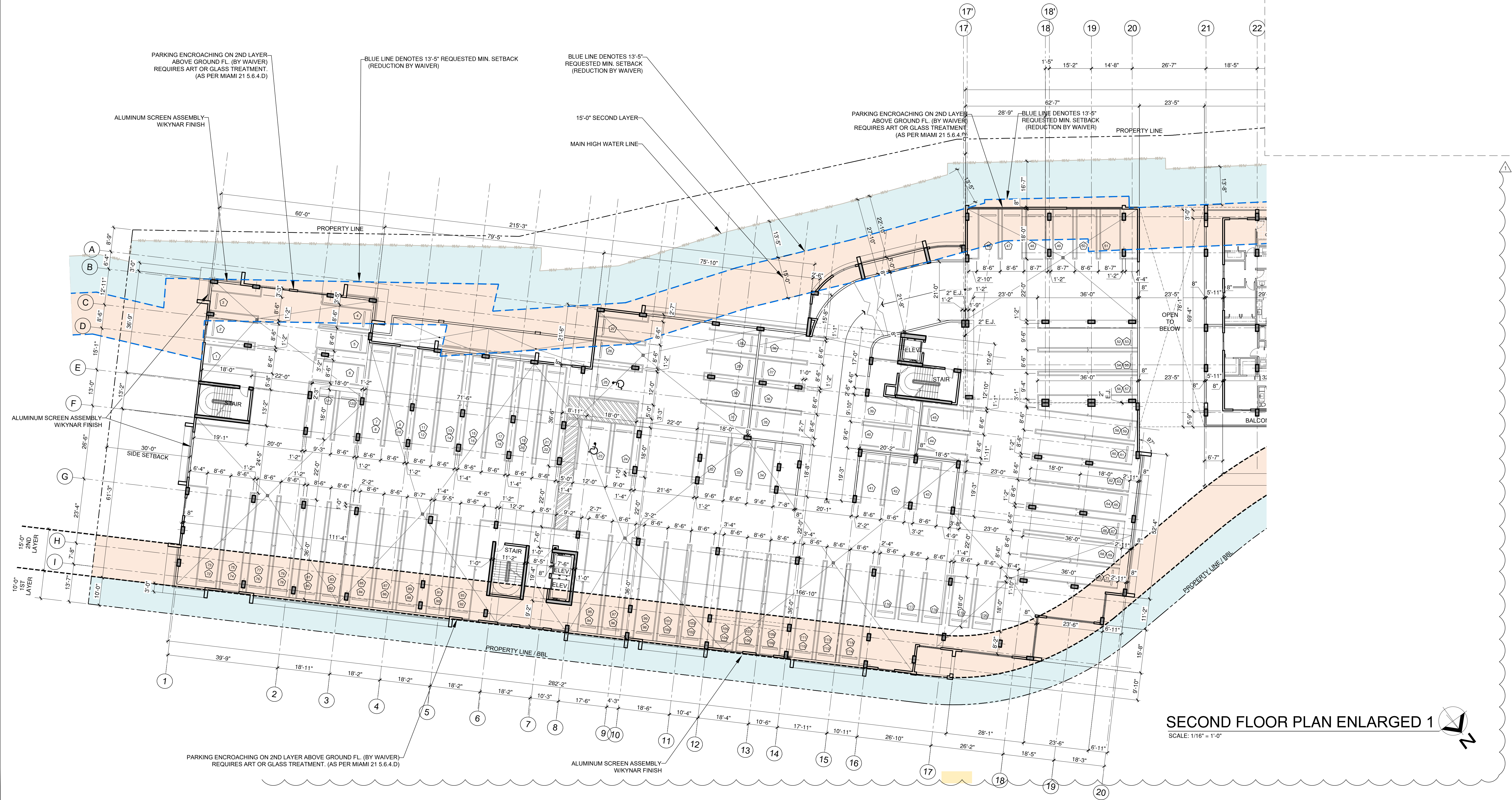


SHEET No:
A-107
WAIVER SET

SECOND FLOOR PLAN - OVERALL



KEY PLAN
SCALE: 1/128" = 1'-0"



SECOND FLOOR PLAN ENLARGED 1
SCALE: 1/16" = 1'-0"

SECOND FLOOR PLAN - ENLARGED 1

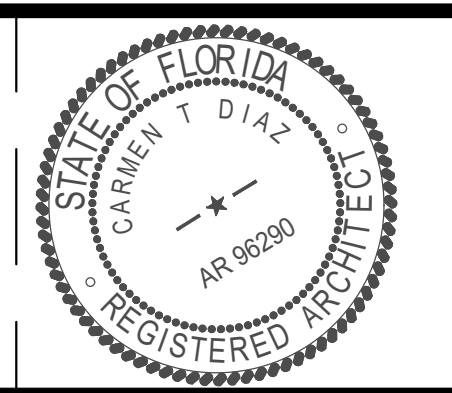
PROJECT No.:	REV. #	DATE
DESIGNED BY:	1	05-20-2021- CITY COMM.
DRAWN BY:	2	
CHECKED BY:	3	
ISSUE DATE:	4	
DRAWING SCALE:	5	
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1010 SPRING GARDEN

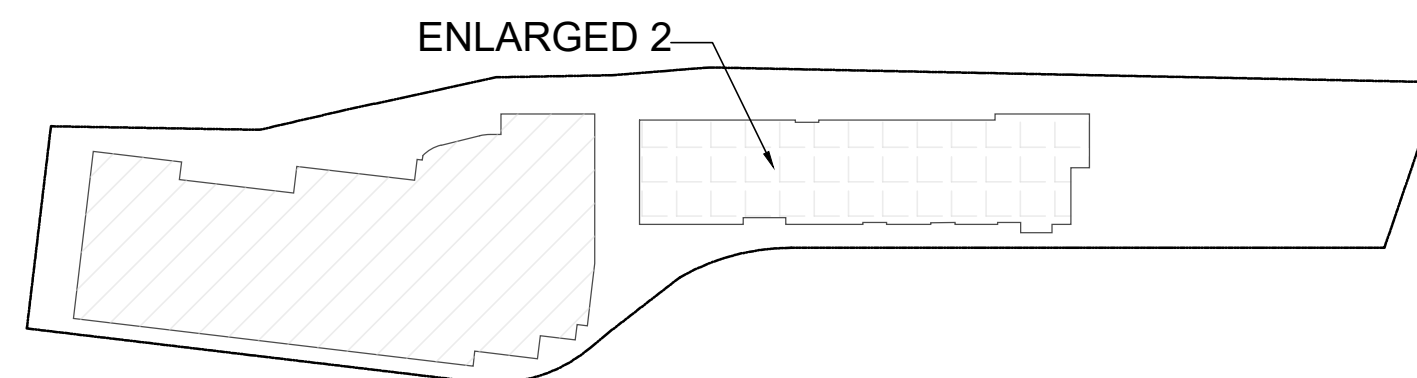
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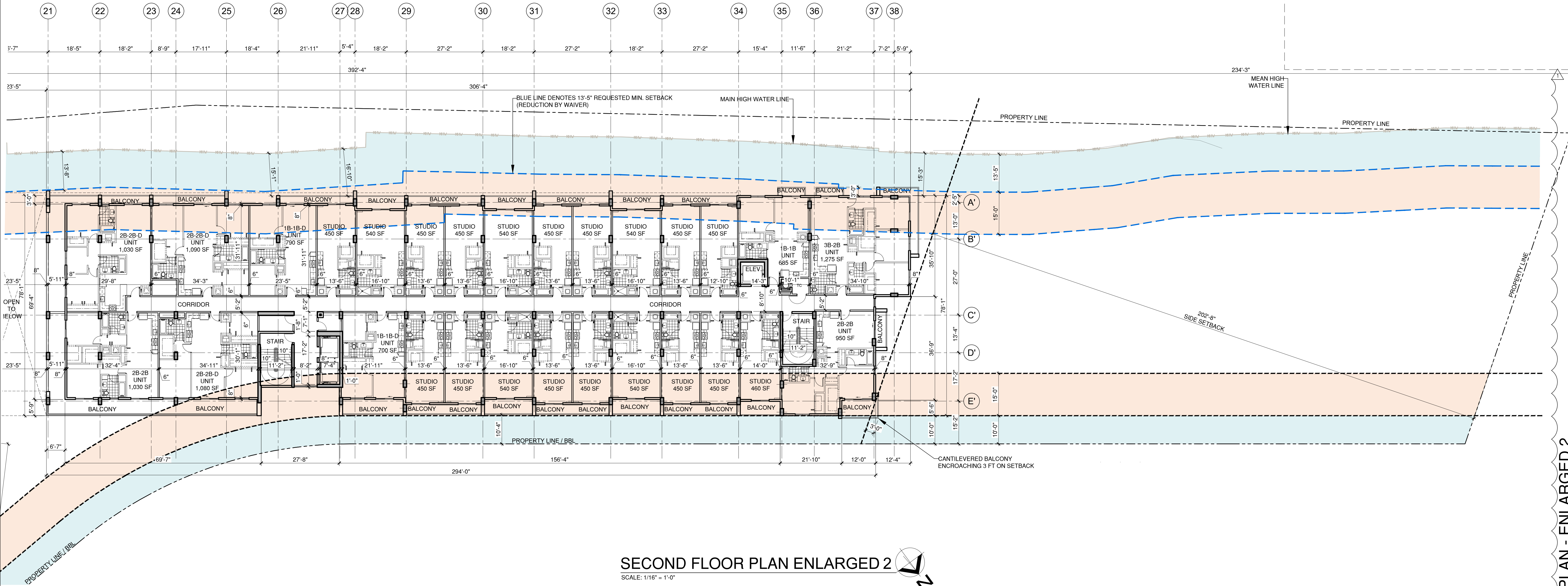
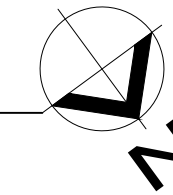
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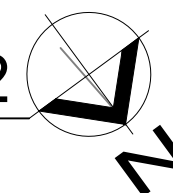
SHEET No:
A-108
WAIVER SET



KEY PLAN
SCALE: 1/128" = 1'-0"



SECOND FLOOR PLAN ENLARGED 2
SCALE: 1/16" = 1'-0"



SECOND FLOOR PLAN - ENLARGED 2

PROJECT No.:	REV. #	DATE
	1	05-20-2021- CITY COMM.
DESIGNED BY:	O.M.	
DRAWN BY:		
CHECKED BY:	O.M.	
ISSUE DATE:		07-10-2020
DRAWING SCALE:	AS SHOWN	

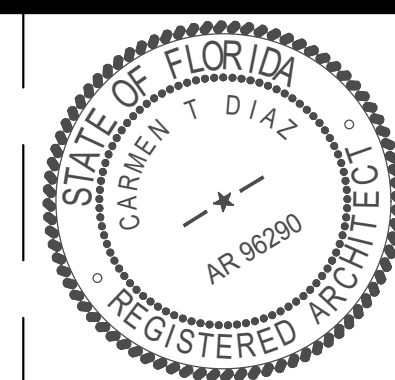
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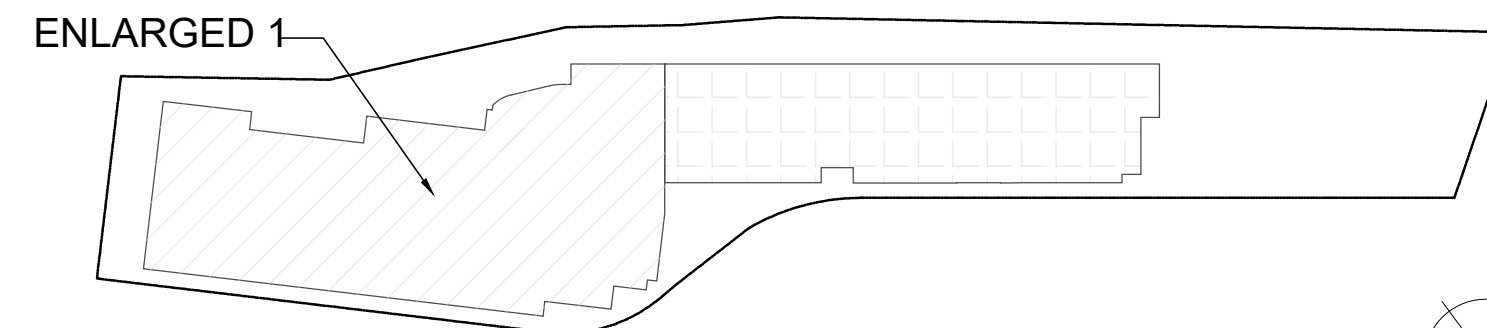


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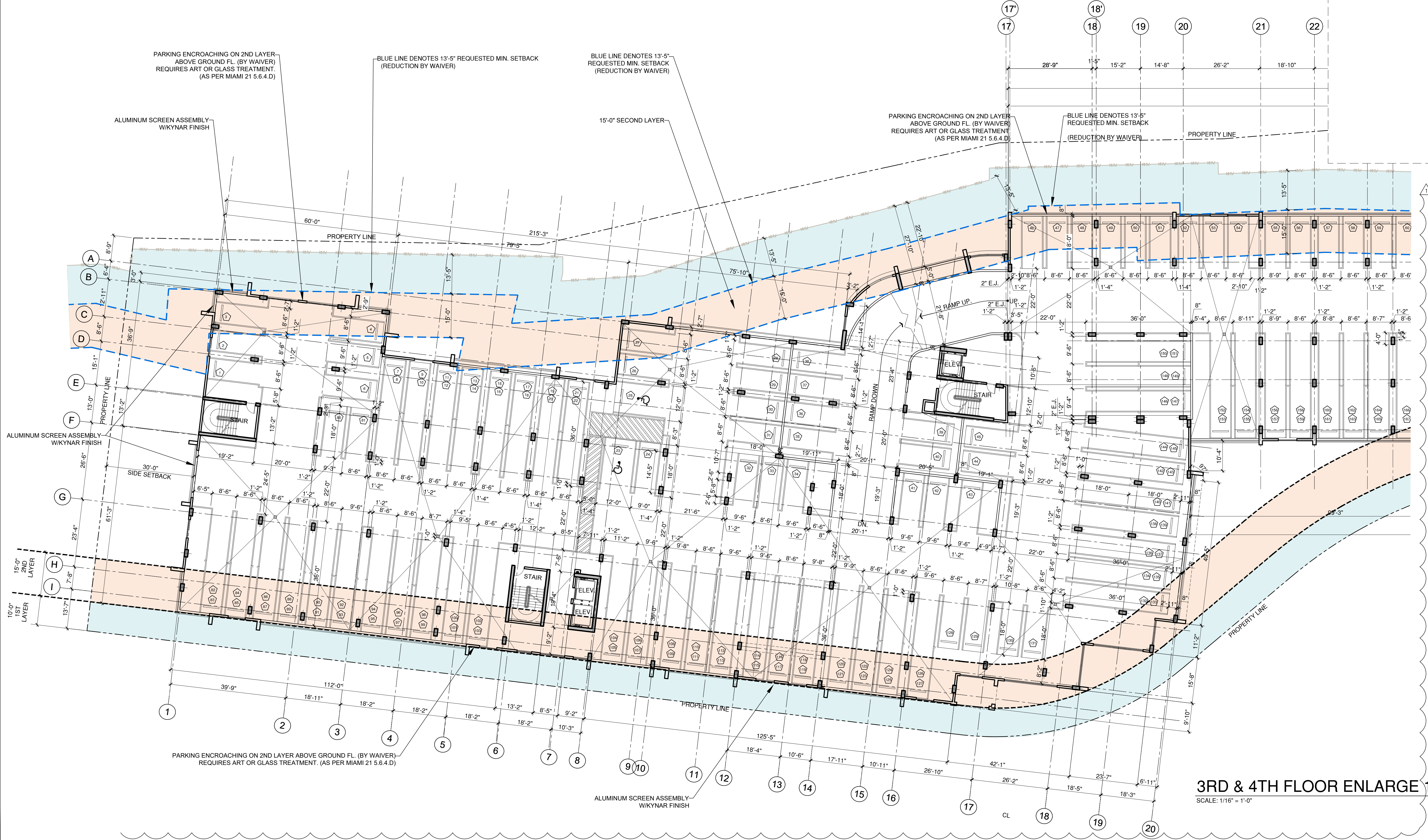
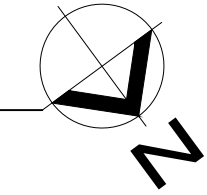
SHEET No.:

A-109
WAIVER SET



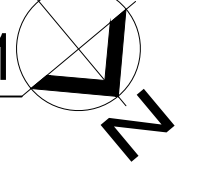
KEY PLAN

SCALE: 1/128" = 1'-0"



3RD & 4TH FLOOR ENLARGE 1

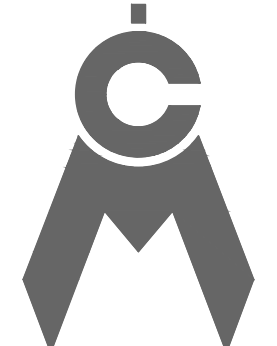
SCALE: 1/16" = 1'-0"



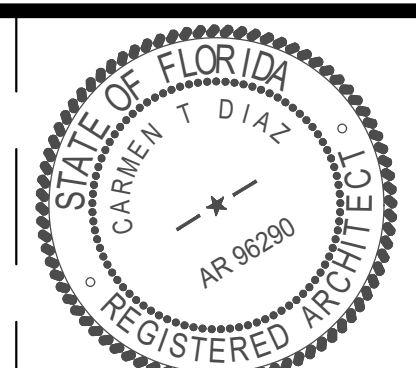
PROJECT No.:	REV. #	DATE
DESIGNED BY: O.M.	1	05-20-2021- CITY COMM.
DRAWN BY:	2	
CHECKED BY: O.M.	3	
ISSUE DATE: 07-10-2020	4	
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DRAWING SCALE: AS SHOWN	10	

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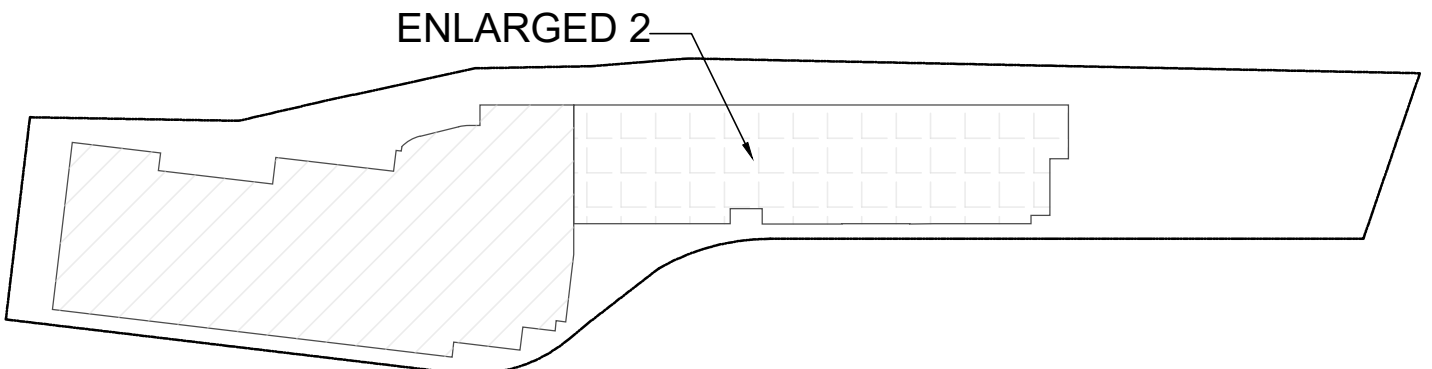
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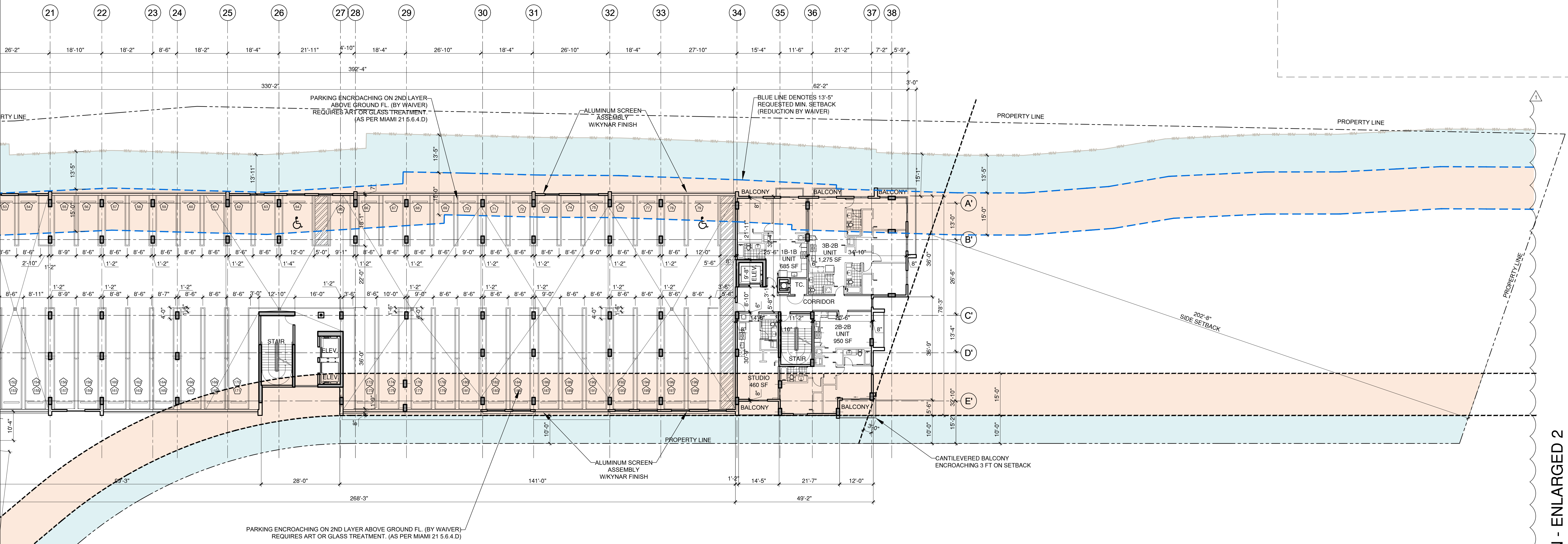
SHEET No.:

A-111
WAIVER SET

3RD & 4TH FLOOR PLAN - ENLARGED 1



KEY PLAN
SCALE: 1/128" = 1'-0"



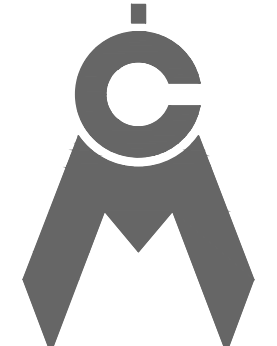
3RD & 4TH FLOOR ENLARGE 2
SCALE: 1/16" = 1'-0"

PROJECT No.:	REV. #	DATE
DESIGNED BY:	1	05-20-2021- CITY COMM.
DRAWN BY:	2	
CHECKED BY:	3	
ISSUE DATE:	4	
DRAWING SCALE:	5	
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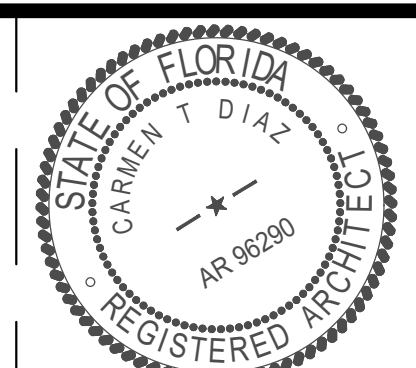
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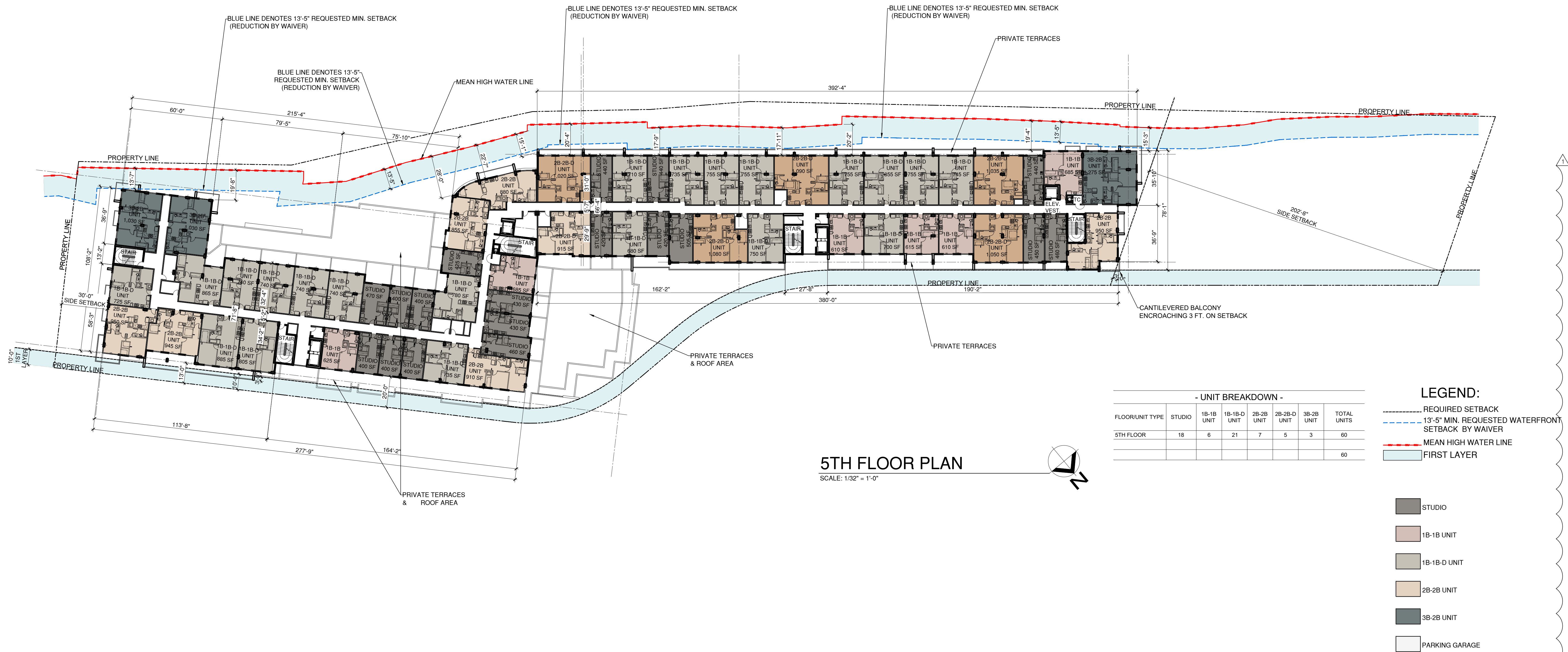


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SHEET No:
A-112
WAIVER SET

3RD & 4TH FLOOR PLAN - ENLARGED 2



5TH FLOOR PLAN
SCALE: 1/32" = 1'-0"

- UNIT BREAKDOWN -

FLOOR/UNIT TYPE	STUDIO	1B-1B UNIT	1B-1B-D UNIT	2B-2B UNIT	3B-2B UNIT	TOTAL UNITS
5TH FLOOR	18	6	21	7	5	60
						60

LEGEND:

- REQUIRED SETBACK
- 13'-5" MIN. REQUESTED WATERFRONT SETBACK BY WAIVER
- MEAN HIGH WATER LINE
- FIRST LAYER

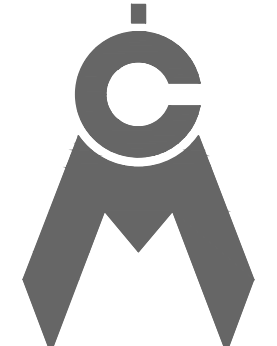
- STUDIO
- 1B-1B UNIT
- 1B-1B-D UNIT
- 2B-2B UNIT
- 3B-2B UNIT
- PARKING GARAGE

PROJECT No.:	REV. #	DATE
	1	05-20-2021- CITY COMM.
DESIGNED BY:	O.M.	
DRAWN BY:		
CHECKED BY:	O.M.	
ISSUE DATE:		07-10-2020
DRAWING SCALE:	AS SHOWN	

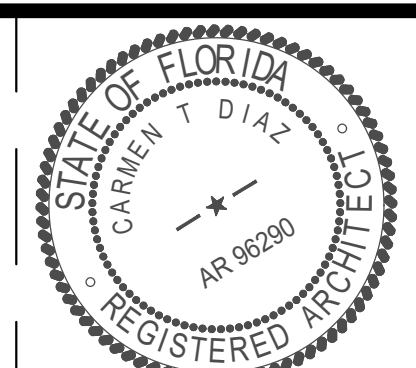
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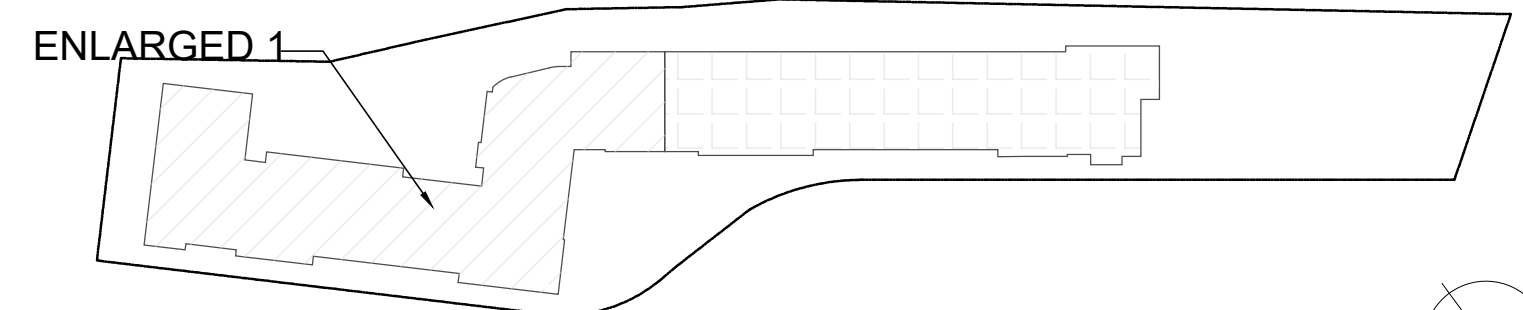


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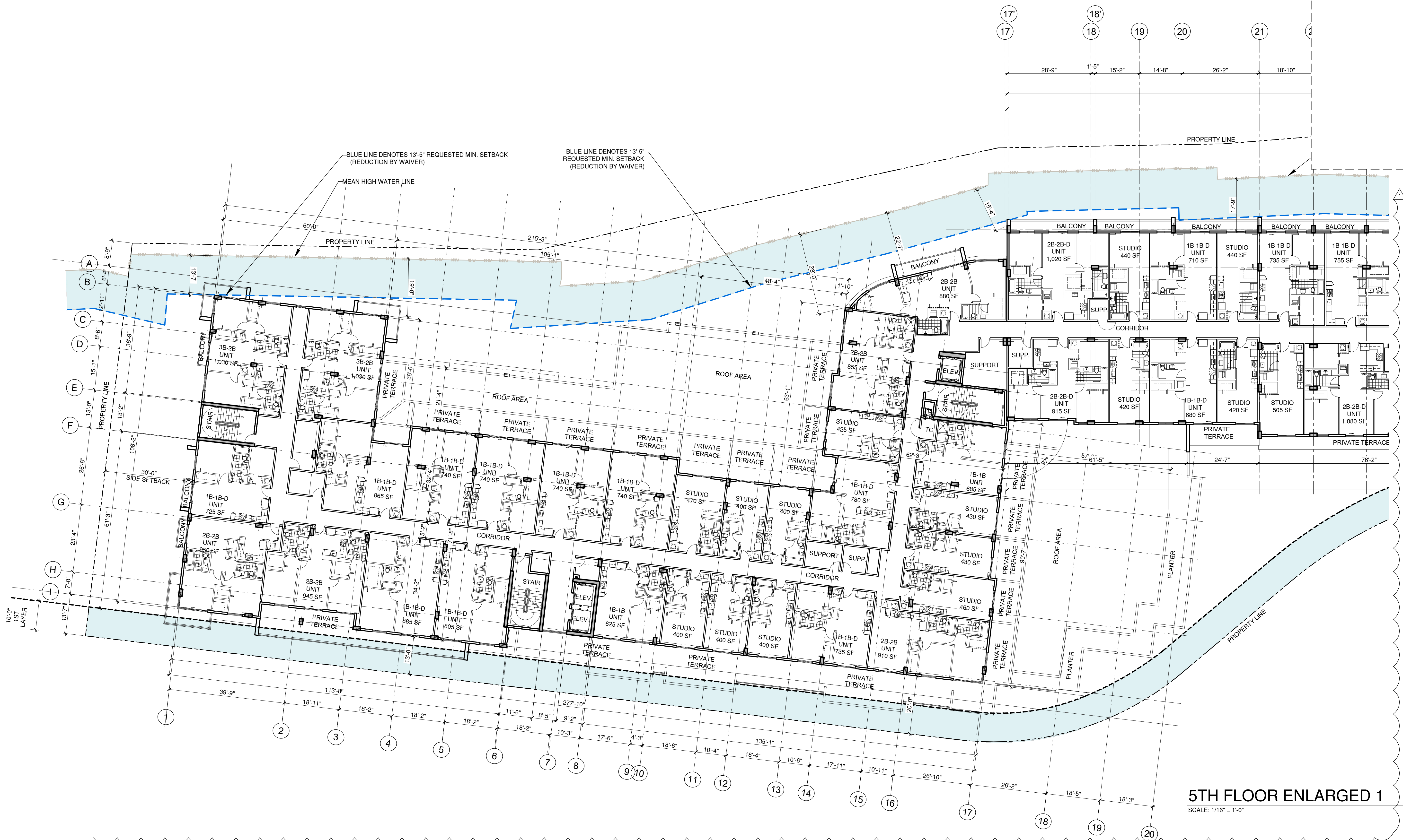


SHEET No:
A-113
WAIVER SET

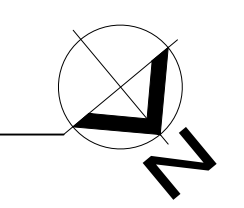
5TH FLOOR PLAN - OVERALL



KEY PLAN
SCALE: 1/128" = 1'-0"



5TH FLOOR ENLARGED 1
SCALE: 1/16" = 1'-0"

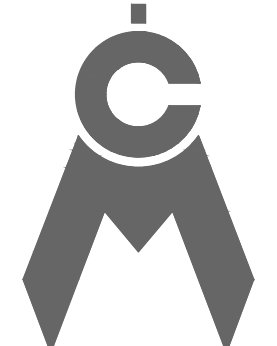


PROJECT No.:	REV. #	DATE
DESIGNED BY:	1	05-20-2021 - CITY COMM.
DRAWN BY:	2	
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ISSUE DATE:	4	
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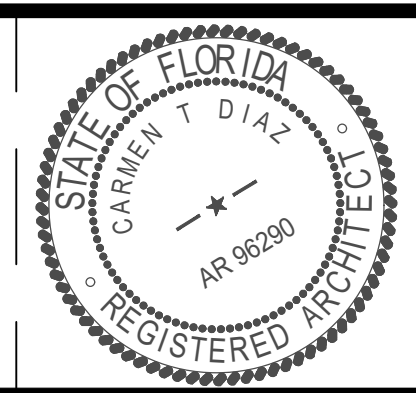
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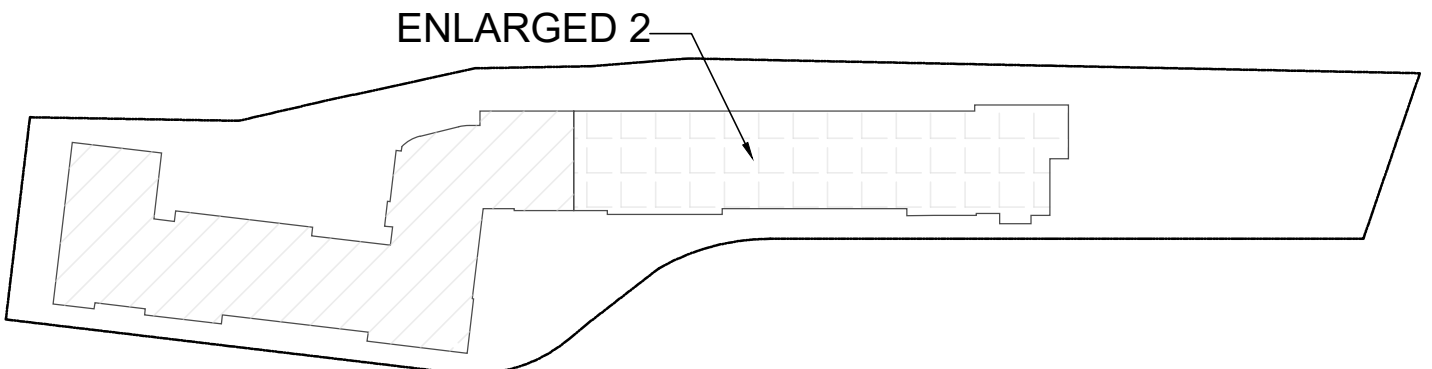


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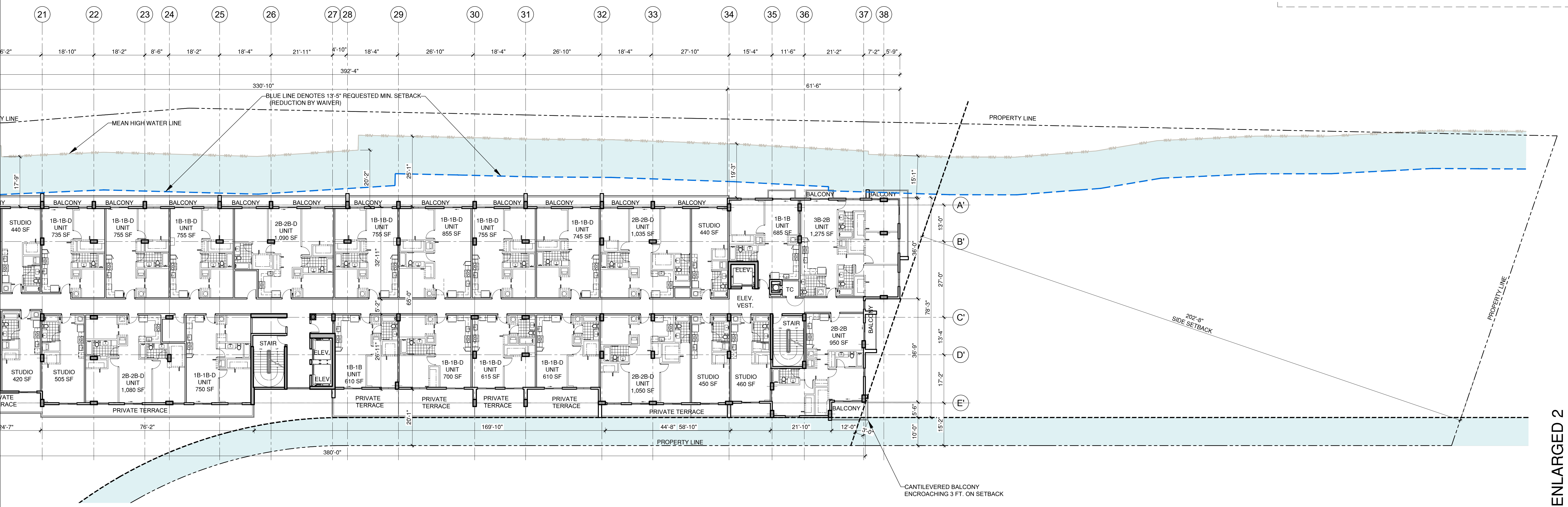


SHEET No:
A-114
WAIVER SET

5TH FLOOR PLAN - ENLARGED 1



KEY PLAN
SCALE: 1/128" = 1'-0"



5TH FLOOR ENLARGED 2
SCALE: 1/16" = 1'-0"

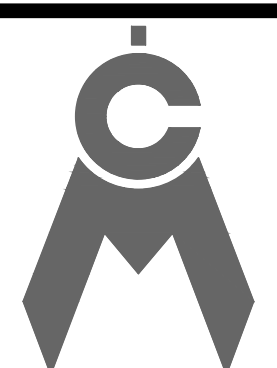
5TH FLOOR PLAN - ENLARGED 2

PROJECT No.:	REV. #	DATE
	1	
DESIGNED BY: O.M.	2	
	3	
DRAWN BY:	4	
	5	
CHECKED BY: O.M.	6	
	7	
ISSUE DATE: 07-10-2020	8	
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DRAWING SCALE: AS SHOWN	10	

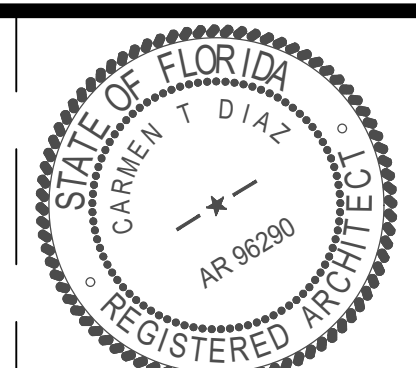
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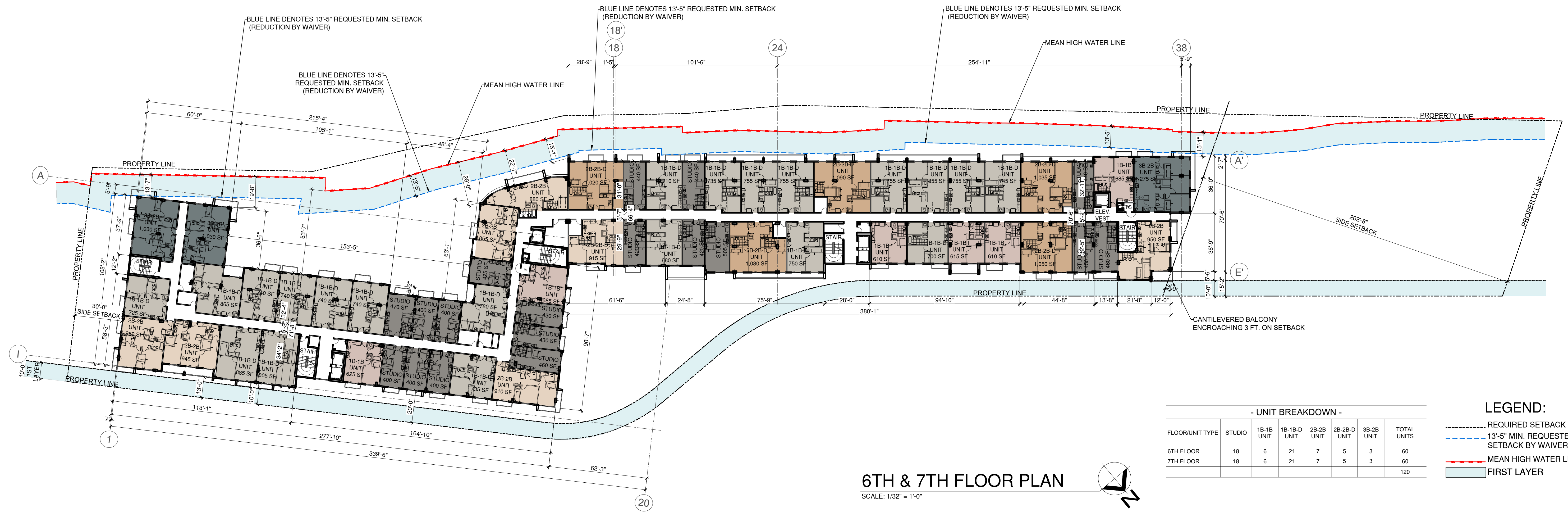
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SHEET No:
A-115
WAIVER SET



6TH & 7TH FLOOR PLAN
SCALE: 1/32" = 1'-0"

- UNIT BREAKDOWN -

FLOOR/UNIT TYPE	STUDIO	1B-1B UNIT	1B-1B-D UNIT	2B-2B UNIT	3B-2B UNIT	TOTAL UNITS
6TH FLOOR	18	6	21	7	5	60
7TH FLOOR	18	6	21	7	5	60
						120

- LEGEND:**
- REQUIRED SETBACK
 - - - 13'-5" MIN. REQUESTED WATERFRONT SETBACK BY WAIVER
 - MEAN HIGH WATER LINE
 - FIRST LAYER

- STUDIO
- 1B-1B UNIT
- 1B-1B-D UNIT
- 2B-2B UNIT
- 3B-2B UNIT
- PARKING GARAGE

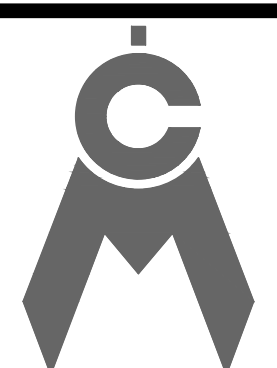
6TH & 7TH FLOOR PLAN - OVERALL

PROJECT No.:	REV. #	DATE
	1	05-20-2021- CITY COMM.
DESIGNED BY:	O.M.	
DRAWN BY:		
CHECKED BY:	O.M.	
ISSUE DATE:		07-10-2020
DRAWING SCALE:	AS SHOWN	

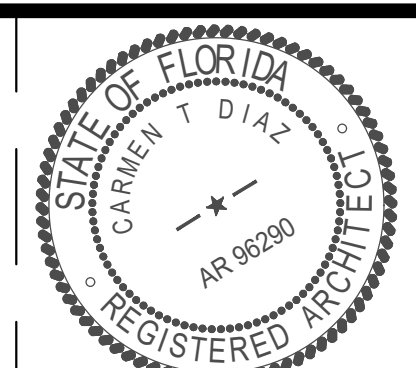
1010 SPRING GARDEN

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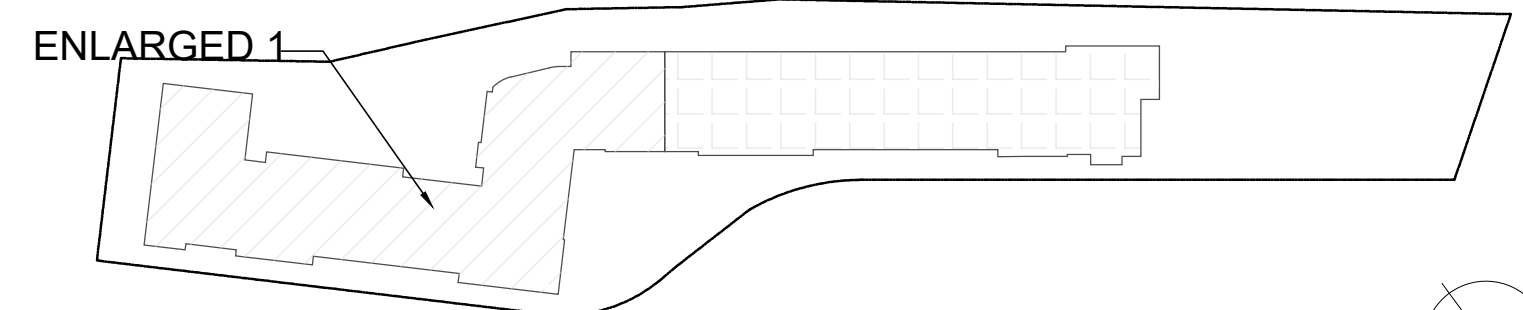


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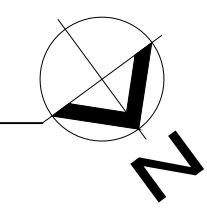


SHEET No.:

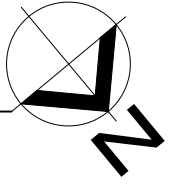
A-116
WAIVER SET



KEY PLAN
SCALE: 1/128" = 1'-0"



6TH & 7TH FLOOR ENLARGED 1
SCALE: 1/16" = 1'-0"



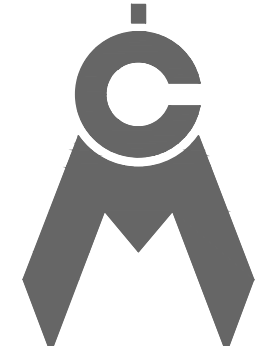
6TH & 7TH FLOOR PLAN - ENLARGED 1

PROJECT No.:	REV. #	DATE
DESIGNED BY: O.M.	1	
DRAWN BY: 5	2	
CHECKED BY: O.M.	3	
ISSUE DATE: 07-10-2020	4	
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	7	
	8	
	9	
DRAWING SCALE: AS SHOWN	10	

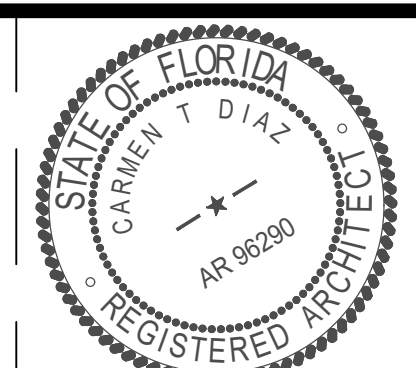
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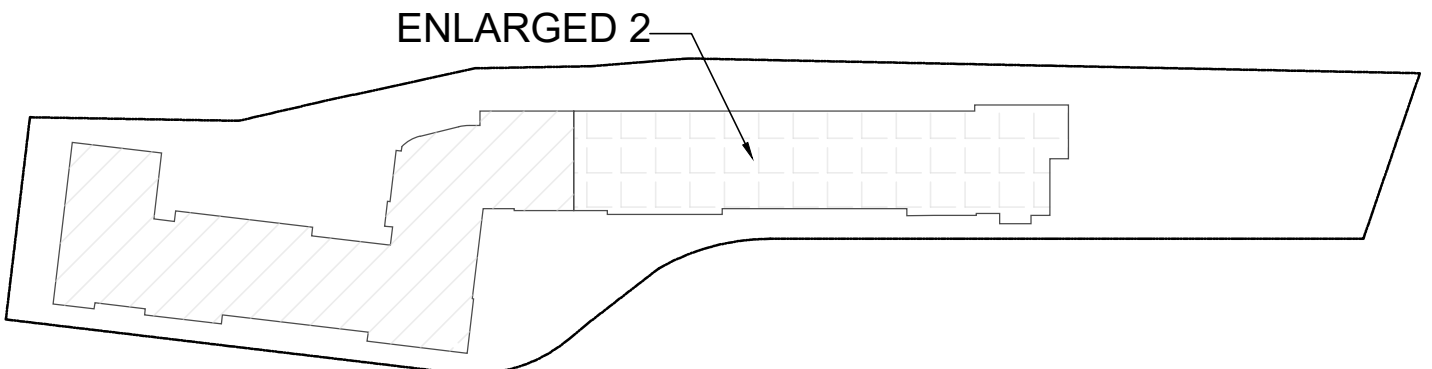


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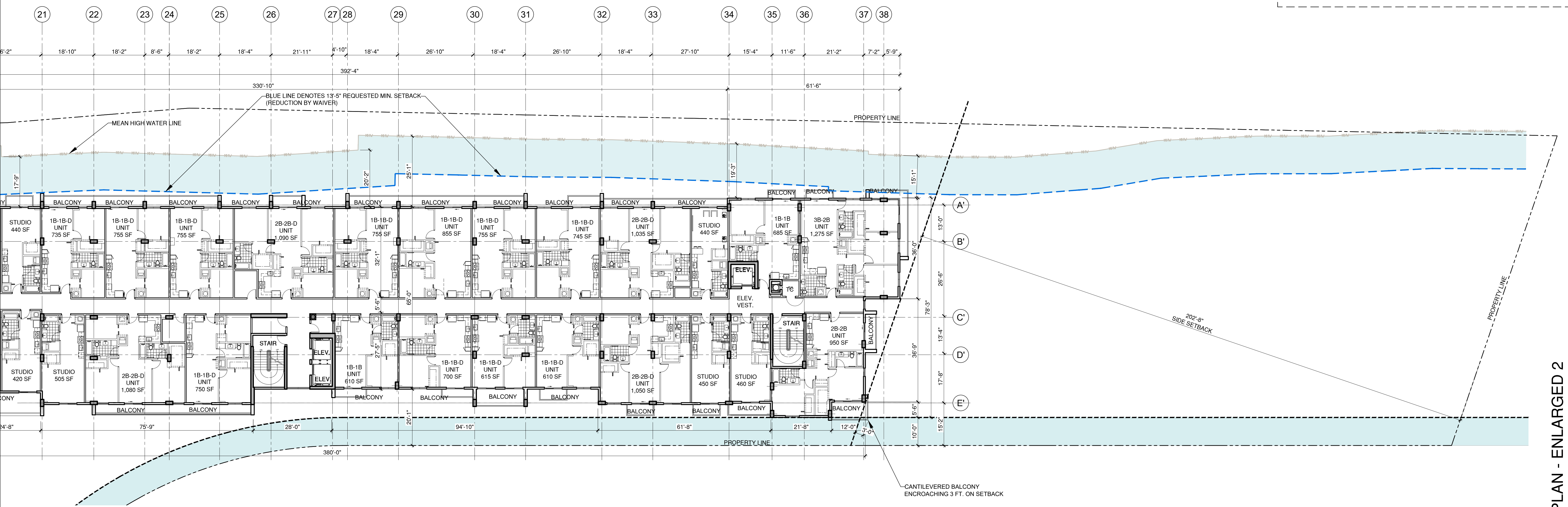
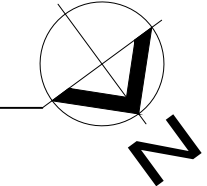


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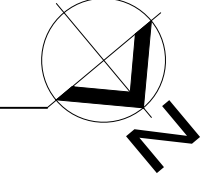
A-117
WAIVER SET



KEY PLAN
SCALE: 1/128" = 1'-0"



6TH & 7TH FLOOR ENLARGED 2
SCALE: 1/16" = 1'-0"

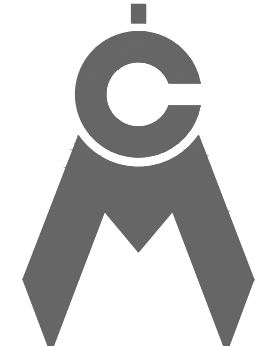


PROJECT No.:	REV. #	DATE
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DESIGNED BY: O.M.	2	
	3	
DRAWN BY:	4	
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CHECKED BY: O.M.	6	
	7	
ISSUE DATE: 07-10-2020	8	
	9	
DRAWING SCALE: AS SHOWN	10	

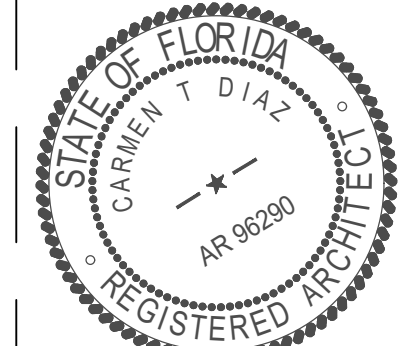
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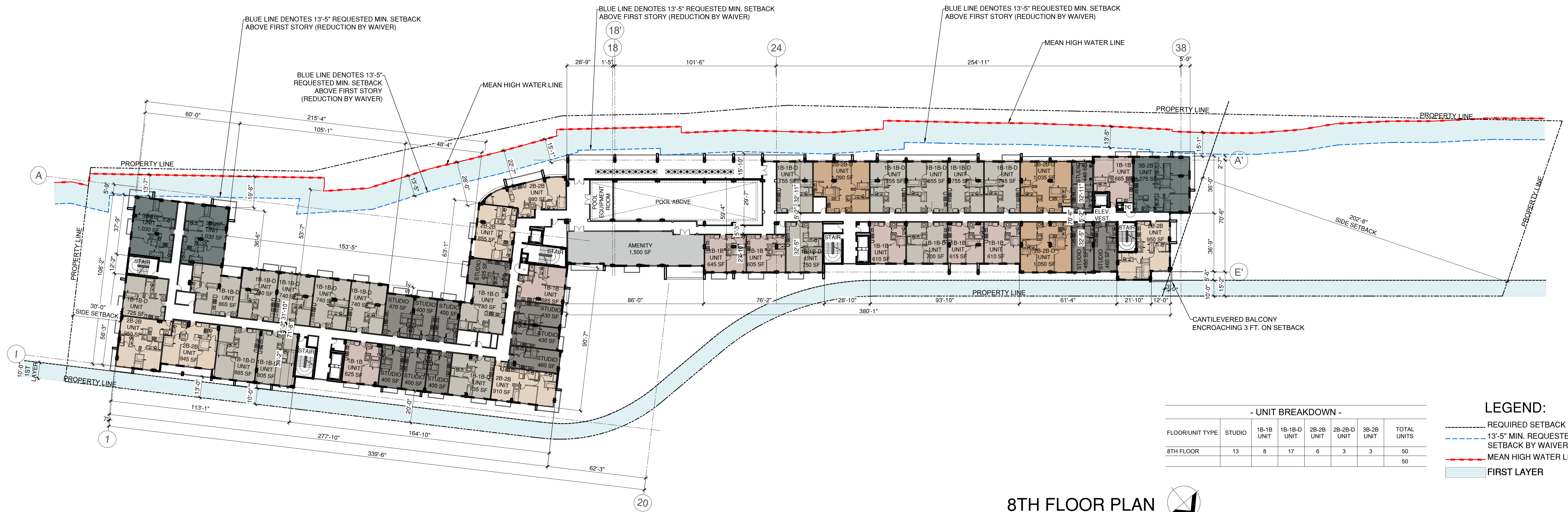
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SHEET No.:

A-118
WAIVER SET

6TH & 7TH FLOOR PLAN - ENLARGED 2



- UNIT BREAKDOWN -

FLOOR/UNIT TYPE	STUDIO	1B-1B UNIT	1B-1B-D UNIT	2B-2B UNIT	3B-2B UNIT	TOTAL UNITS
8TH FLOOR	13	8	17	6	3	50
						50

- LEGEND:**
- REQUIRED SETBACK
 - 13'-5" MIN. REQUESTED WATERFRONT SETBACK BY WAIVER
 - MEAN HIGH WATER LINE
 - FIRST LAYER

- STUDIO
- 1B-1B UNIT
- 1B-1B-D UNIT
- 2B-2B UNIT
- 3B-2B UNIT
- PARKING GARAGE

8TH FLOOR PLAN
SCALE: 1/32" = 1'-0"

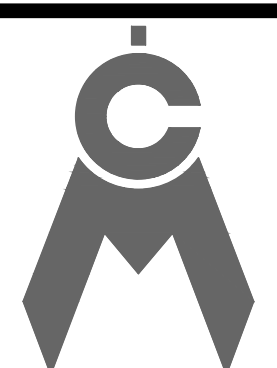
8TH FLOOR PLAN - OVERALL

PROJECT No.:	REV. #	DATE
	1	05-20-2021- CITY COMM.
DESIGNED BY:	O.M.	
DRAWN BY:		
CHECKED BY:	O.M.	
ISSUE DATE:		07-10-2020
DRAWING SCALE:	AS SHOWN	

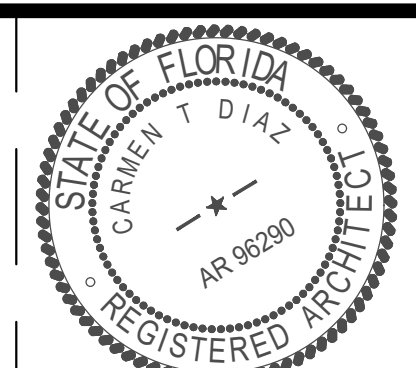
1010 SPRING GARDEN

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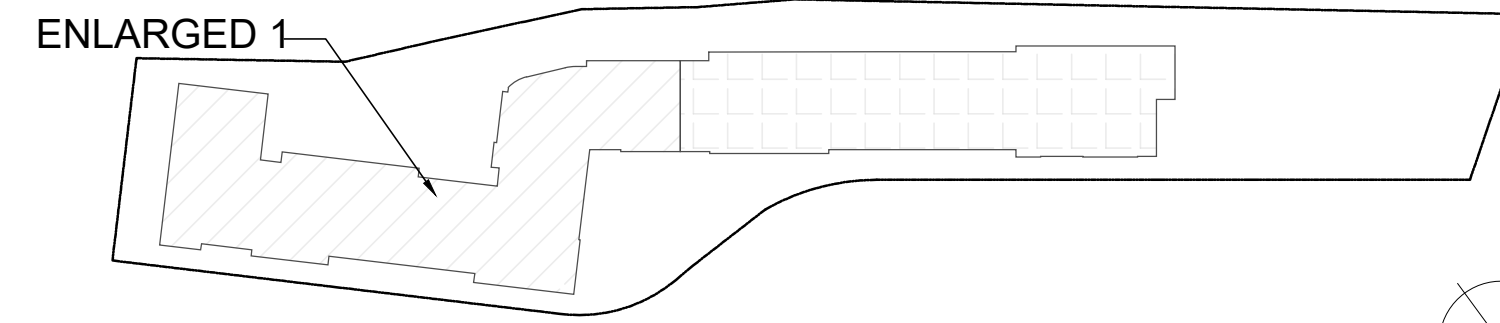
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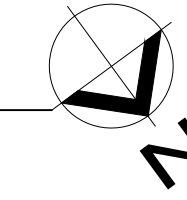


SHEET No:
A-119
WAIVER SET



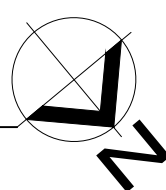
KEY PLAN

SCALE: 1/128" = 1'-0"



8TH FLOOR PLAN ENLARGED 1

SCALE: 1/16" = 1'-0"

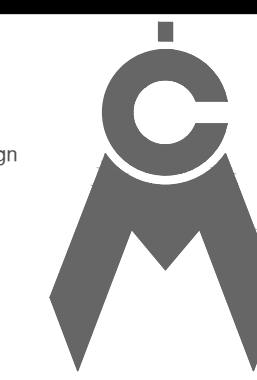


8TH FLOOR PLAN - ENLARGED 1

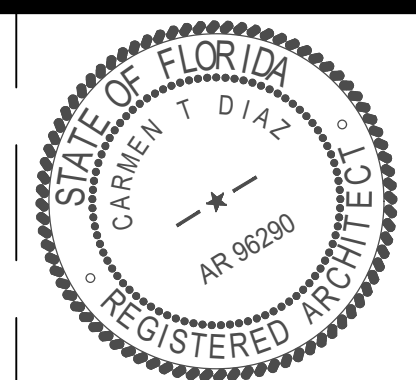
PROJECT No.:	REV. #	DATE
DESIGNED BY:	O.M.	
DRAWN BY:	4	
CHECKED BY:	O.M.	
ISSUE DATE:	07-10-2020	
DRAWING SCALE:	AS SHOWN	

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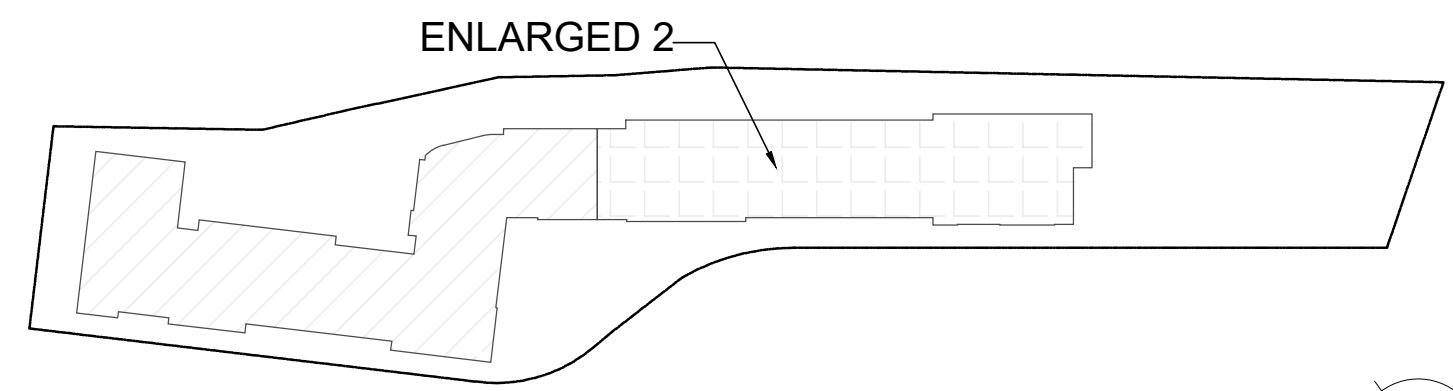


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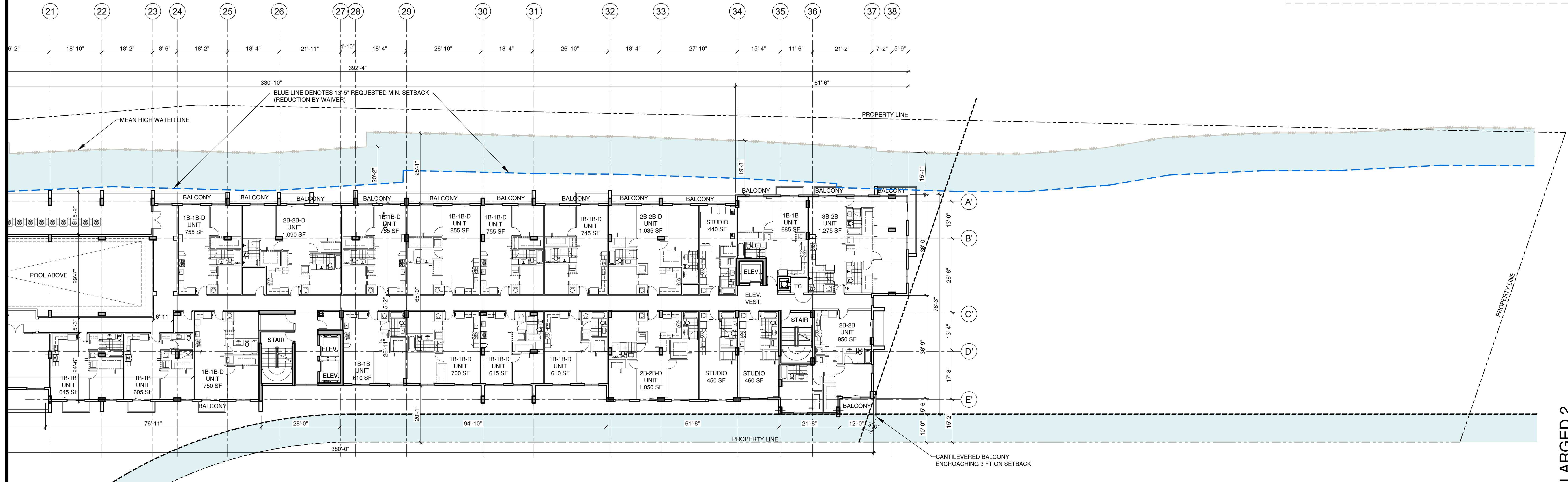
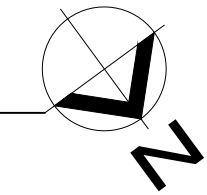


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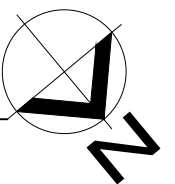
A-120
WAIVER SET



KEY PLAN
SCALE: 1/128" = 1'-0"



8TH FLOOR PLAN ENLARGED 2
SCALE: 1/16" = 1'-0"

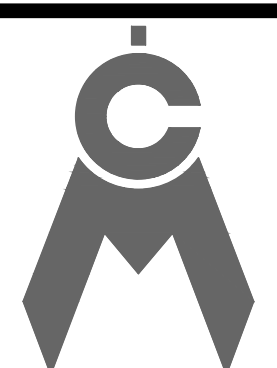


PROJECT No.:	REV. #	DATE
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DESIGNED BY: O.M.	2	
	3	
DRAWN BY:	4	
	5	
CHECKED BY: O.M.	6	
	7	
ISSUE DATE: 07-10-2020	8	
	9	
DRAWING SCALE: AS SHOWN	10	

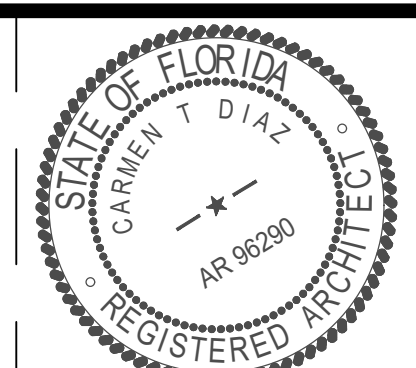
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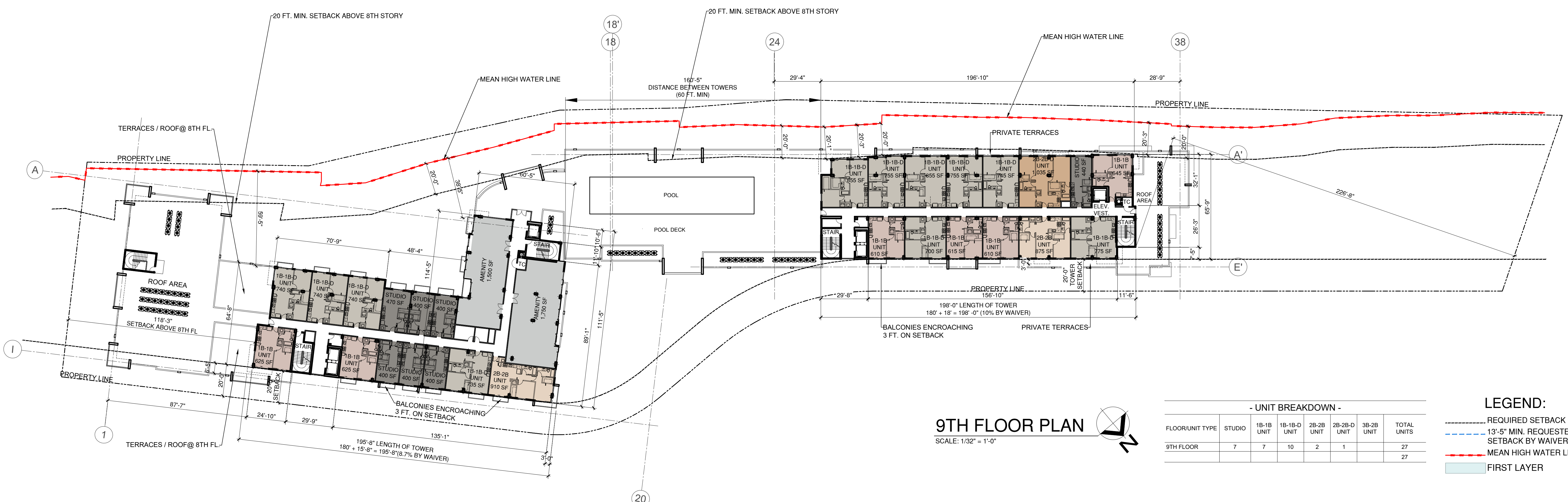
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SHEET No.:

A-121
WAIVER SET

8TH FLOOR PLAN - ENLARGED 2



9TH FLOOR PLAN
SCALE: 1/32" = 1'-0"

- UNIT BREAKDOWN -

FLOOR/UNIT TYPE	STUDIO	1B-1B UNIT	1B-1B-D UNIT	2B-2B UNIT	2B-2B-D UNIT	3B-2B UNIT	TOTAL UNITS
9TH FLOOR	7	7	10	2	1		27
							27

- LEGEND:**
- REQUIRED SETBACK
 - - - 13'-5" MIN. REQUESTED WATERFRONT SETBACK BY WAIVER
 - MEAN HIGH WATER LINE
 - FIRST LAYER

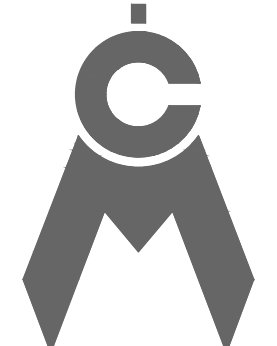
- STUDIO
- 1B-1B UNIT
- 1B-1B-D UNIT
- 2B-2B UNIT
- 3B-2B UNIT
- PARKING GARAGE

PROJECT No.:	REV. #	DATE
	1	05-20-2021- CITY COMM.
DESIGNED BY:	O.M.	
DRAWN BY:		
CHECKED BY:	O.M.	
ISSUE DATE:		07-10-2020
DRAWING SCALE:	AS SHOWN	

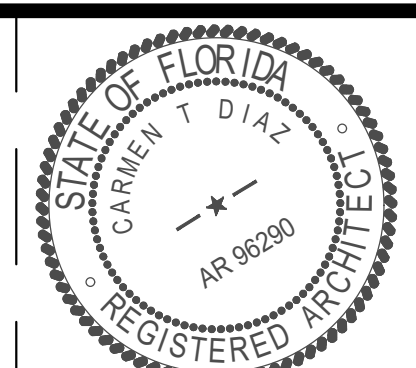
1010 SPRING GARDEN

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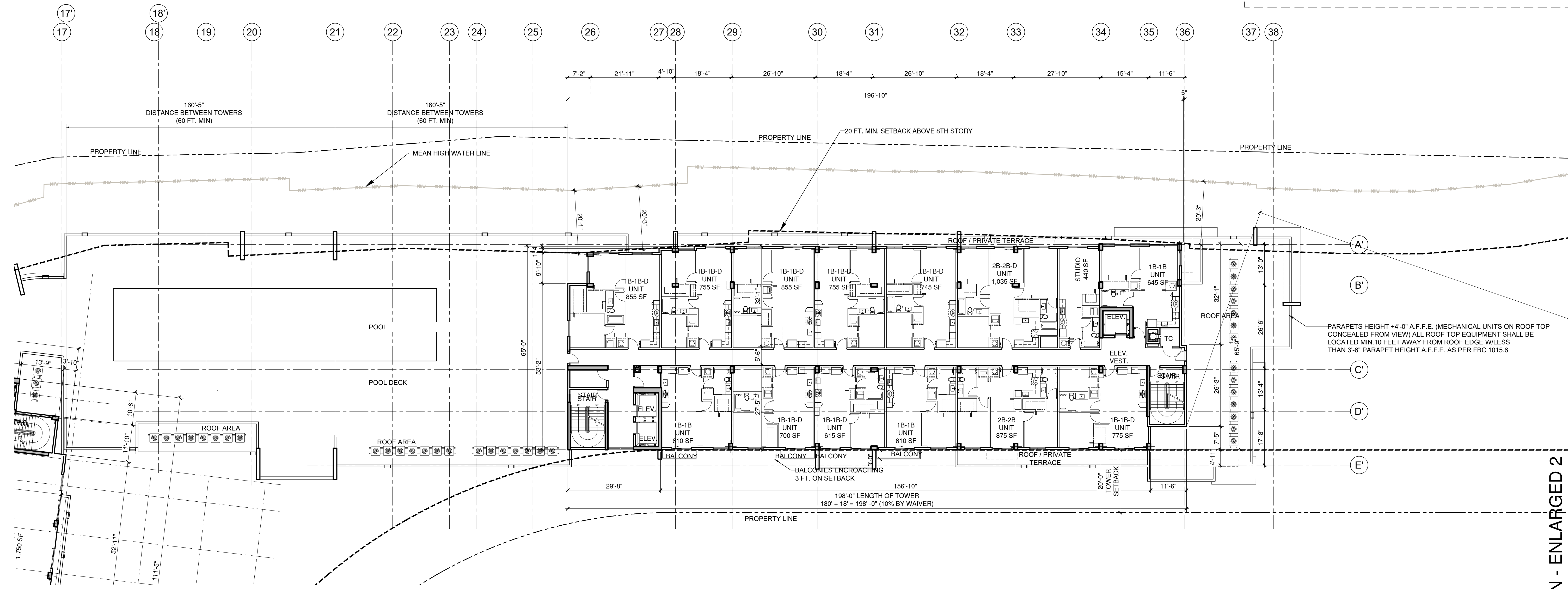
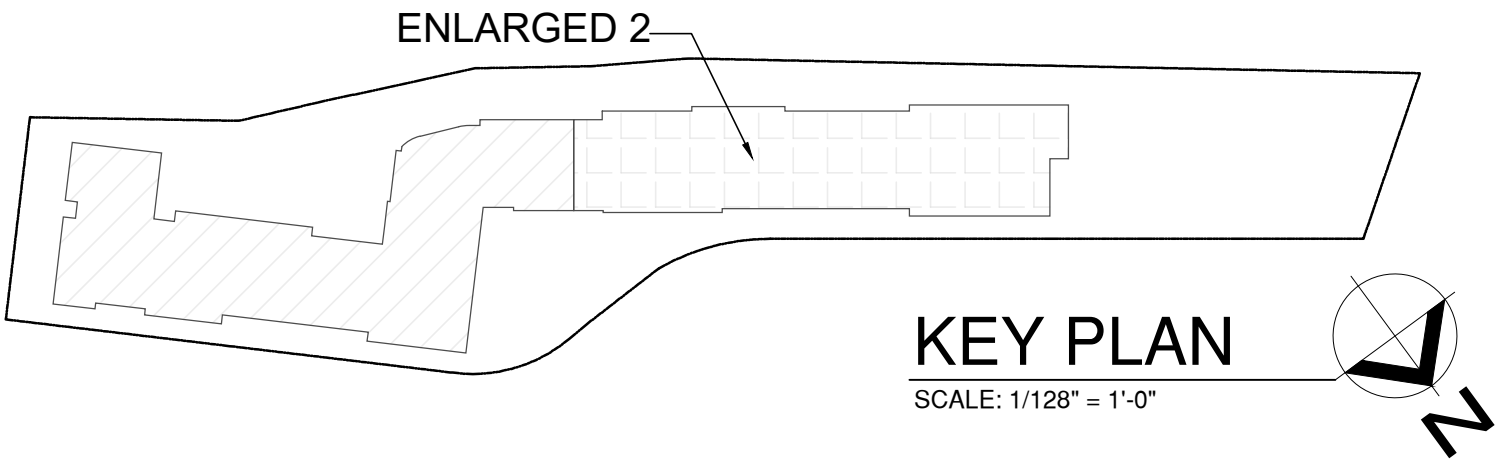


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SHEET No:
A-122
WAIVER SET

9TH FLOOR PLAN - OVERALL



PARAPETS HEIGHT +4'-0" A.F.F.E. (MECHANICAL UNITS ON ROOF TOP CONCEALED FROM VIEW) ALL ROOF TOP EQUIPMENT SHALL BE LOCATED MIN. 10 FEET AWAY FROM ROOF EDGE W/LESS THAN 3'-6" PARAPET HEIGHT A.F.F.E. AS PER FBC 1015.6

9TH FLOOR PLAN ENLARGED 2
SCALE: 1/16" = 1'-0"

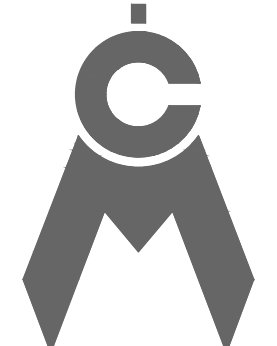
9TH FLOOR PLAN - ENLARGED 2

PROJECT No.:	REV. #	DATE
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	2	
DESIGNED BY:	O.M.	
	3	
	4	
DRAWN BY:		
	5	
CHECKED BY:	O.M.	
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ISSUE DATE:	07-10-2020	
	7	
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	9	
DRAWING SCALE:	AS SHOWN	
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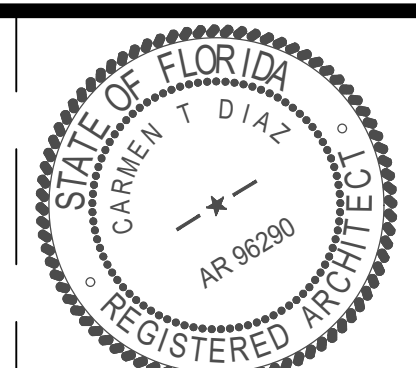
1010 SPRING GARDEN

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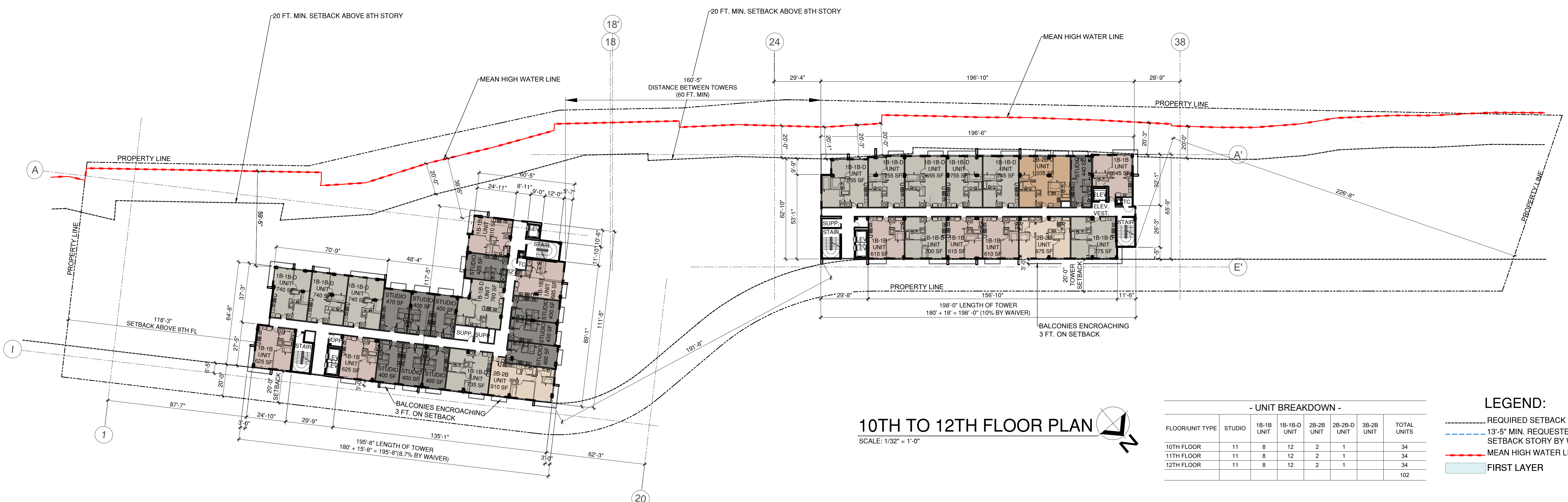


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SHEET No.:

A-124
WAIVER SET



10TH TO 12TH FLOOR PLAN
SCALE: 1/32" = 1'-0"

- UNIT BREAKDOWN -

FLOOR/UNIT TYPE	STUDIO	1B-1B UNIT	1B-1B-D UNIT	2B-2B UNIT	3B-2B UNIT	TOTAL UNITS
10TH FLOOR	11	8	12	2	1	34
11TH FLOOR	11	8	12	2	1	34
12TH FLOOR	11	8	12	2	1	34
TOTAL	33	24	36	6	3	102

- LEGEND:**
- REQUIRED SETBACK
 - 13'-5" MIN. REQUESTED WATERFRONT SETBACK STORY BY WAIVER
 - MEAN HIGH WATER LINE
 - FIRST LAYER

- STUDIO
- 1B-1B UNIT
- 1B-1B-D UNIT
- 2B-2B UNIT
- 3B-2B UNIT
- PARKING GARAGE

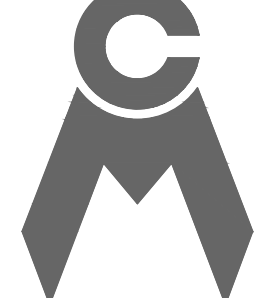
10TH TO 12TH FLOOR PLAN - OVERALL

PROJECT No.:	REV. #	DATE
	1	05-20-2021- CITY COMM.
DESIGNED BY:	O.M.	
DRAWN BY:		
CHECKED BY:	O.M.	
ISSUE DATE:		07-10-2020
DRAWING SCALE:	AS SHOWN	

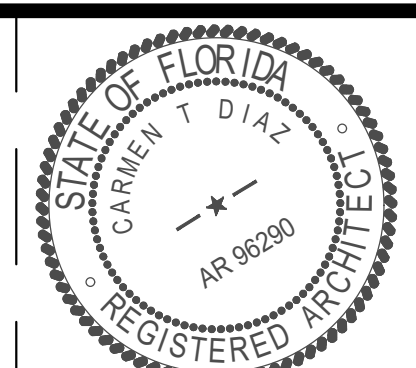
1010 SPRING GARDEN

MIAMI, FL. 33136

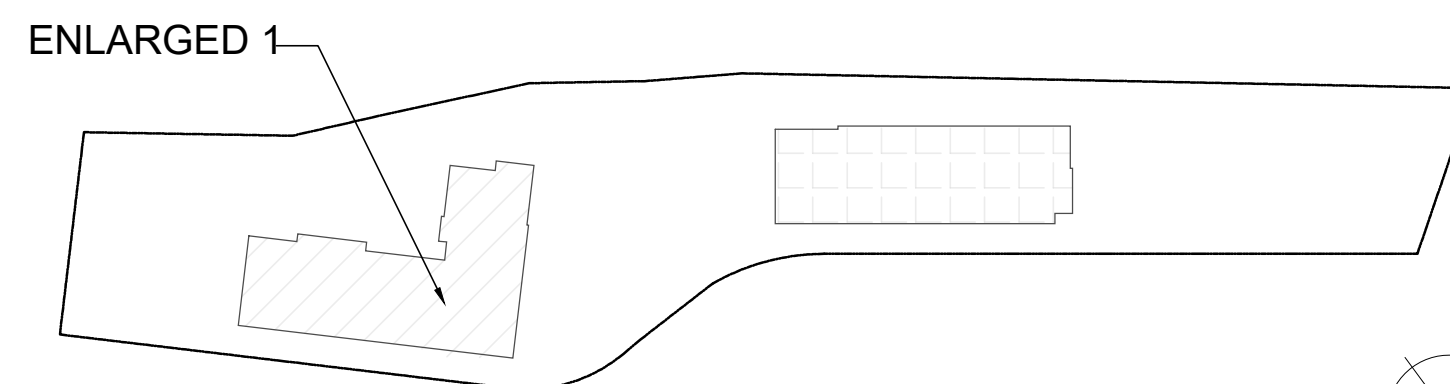
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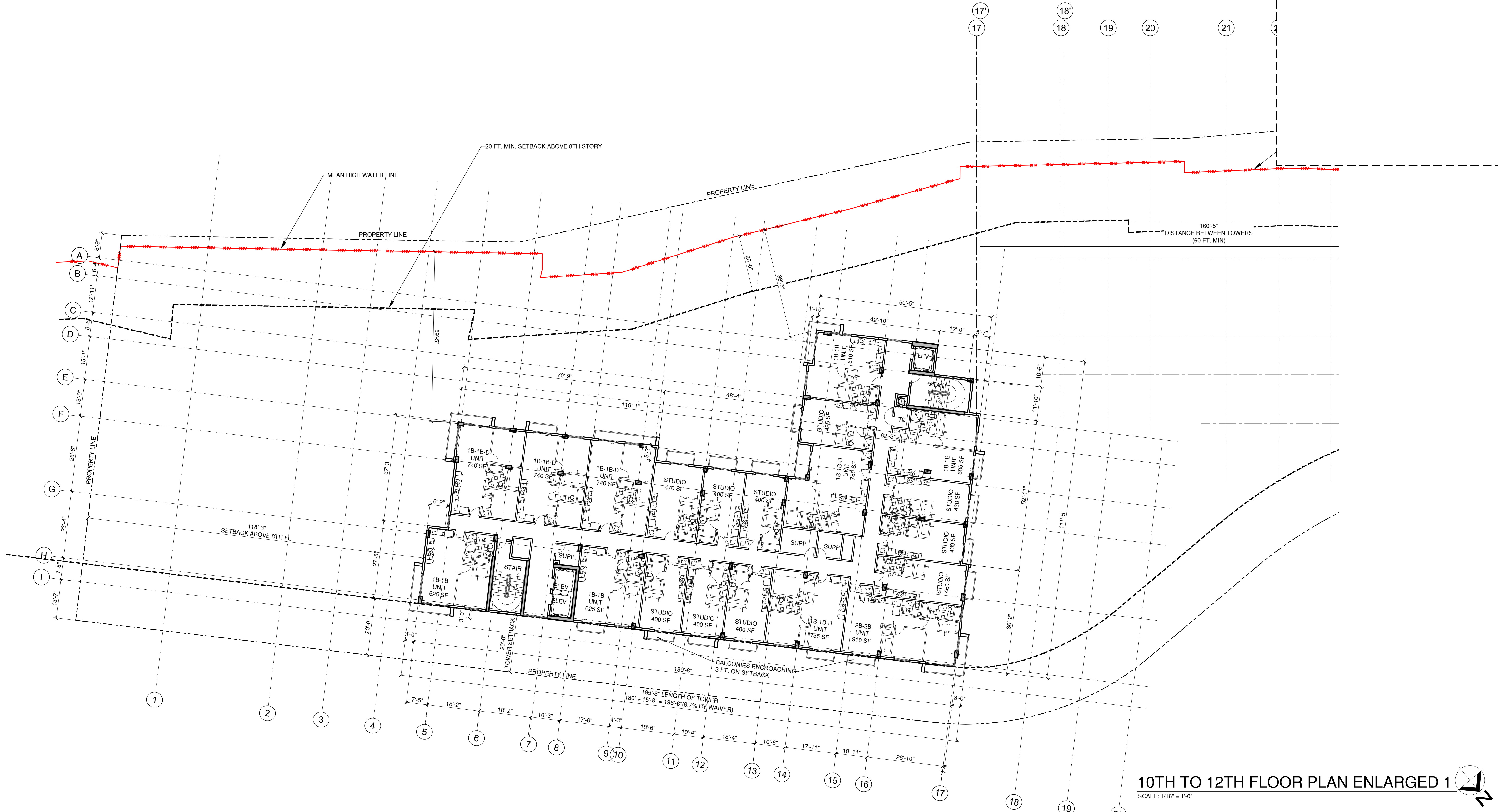
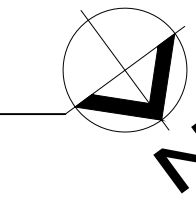


SHEET No:
A-125
WAIVER SET



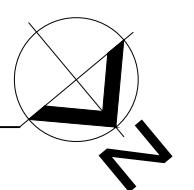
KEY PLAN

SCALE: 1/128" = 1'-0"



10TH TO 12TH FLOOR PLAN ENLARGED 1

SCALE: 1/116" = 1'-0"



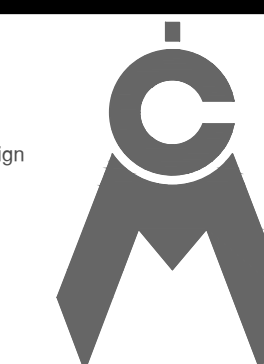
10TH TO 12TH FLOOR PLAN - ENLARGED 1

PROJECT No.:	REV. #	DATE
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DESIGNED BY:	O.M.	
	2	
	3	
DRAWN BY:	4	
	5	
CHECKED BY:	O.M.	
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ISSUE DATE:	07-10-2020	
	7	
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DRAWING SCALE:	AS SHOWN	
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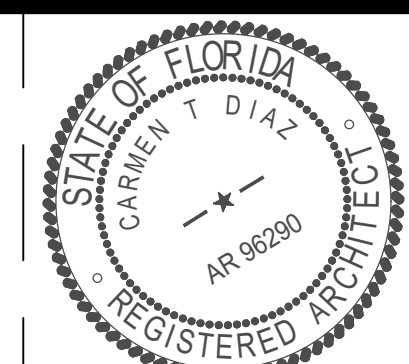
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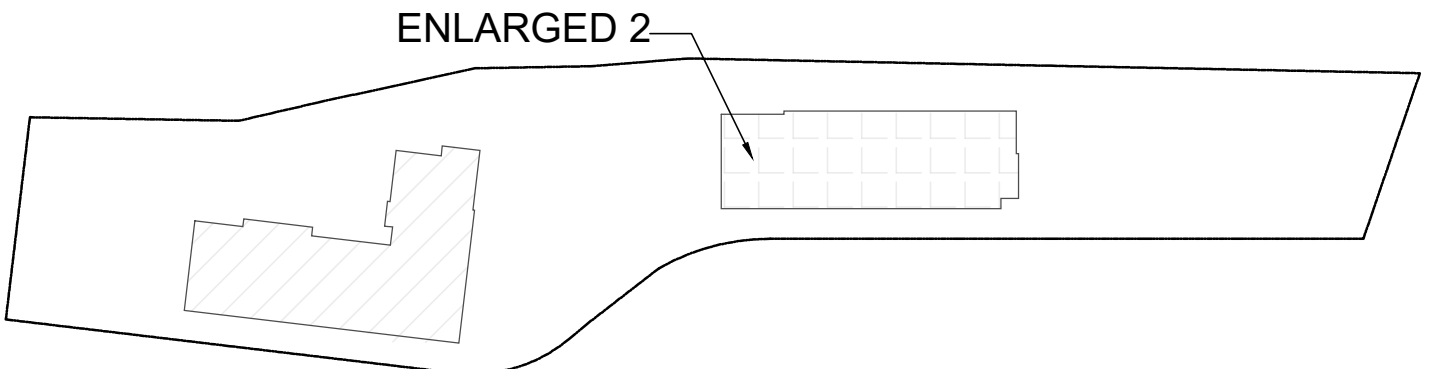


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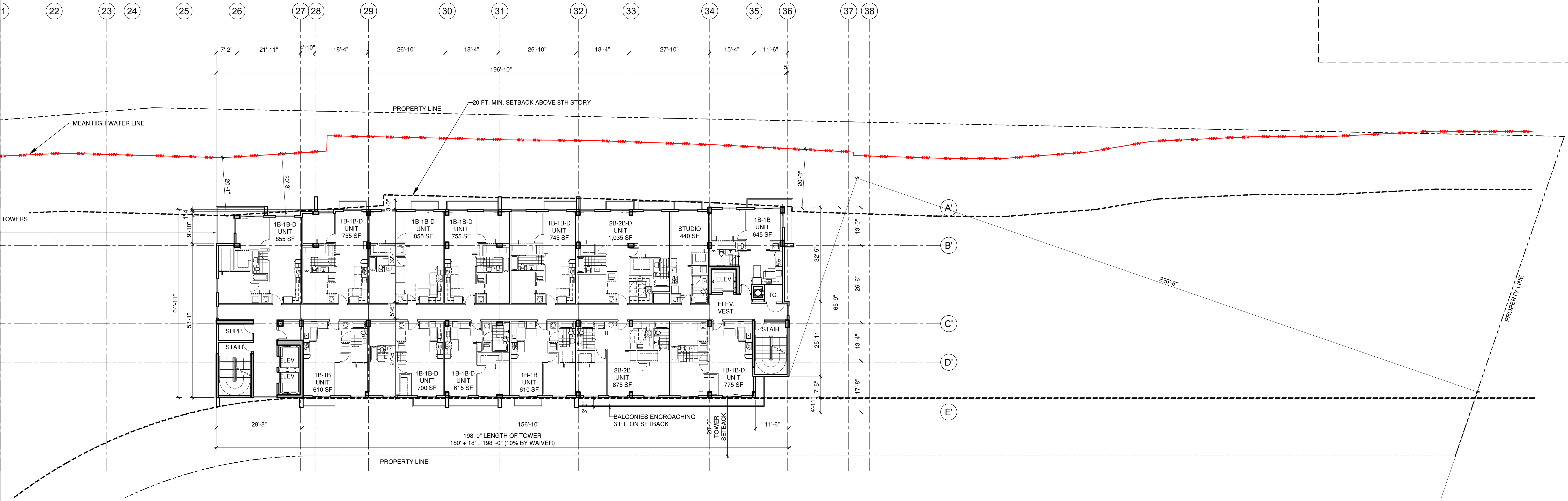


SHEET No.:

A-126
 WAIVER SET



KEY PLAN
SCALE: 1/128" = 1'-0"



10TH TO 12TH FLOOR PLAN ENLARGED 2
SCALE: 1/16" = 1'-0"

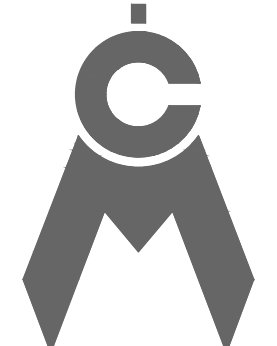
10TH TO 12TH FLOOR PLAN - ENLARGED 2

PROJECT No.:	REV. #	DATE
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DESIGNED BY:	O.M.	
	2	
	3	
DRAWN BY:		
	4	
	5	
CHECKED BY:	O.M.	
	6	
	7	
ISSUE DATE:	07-10-2020	
	8	
	9	
DRAWING SCALE:	AS SHOWN	
	10	

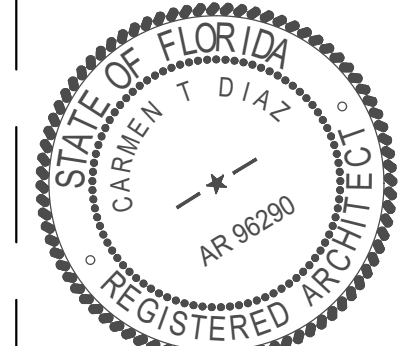
1010 SPRING GARDEN

MIAMI, FL. 33136

CAYMARES MARTIN
Architectural & Engineering Design
AA 26001552 CA 27136
5001 SW 74th Ct, Ste 100
Miami, FL 33155
Ph: (305) 669-5040 Fax:
(305) 669-5041
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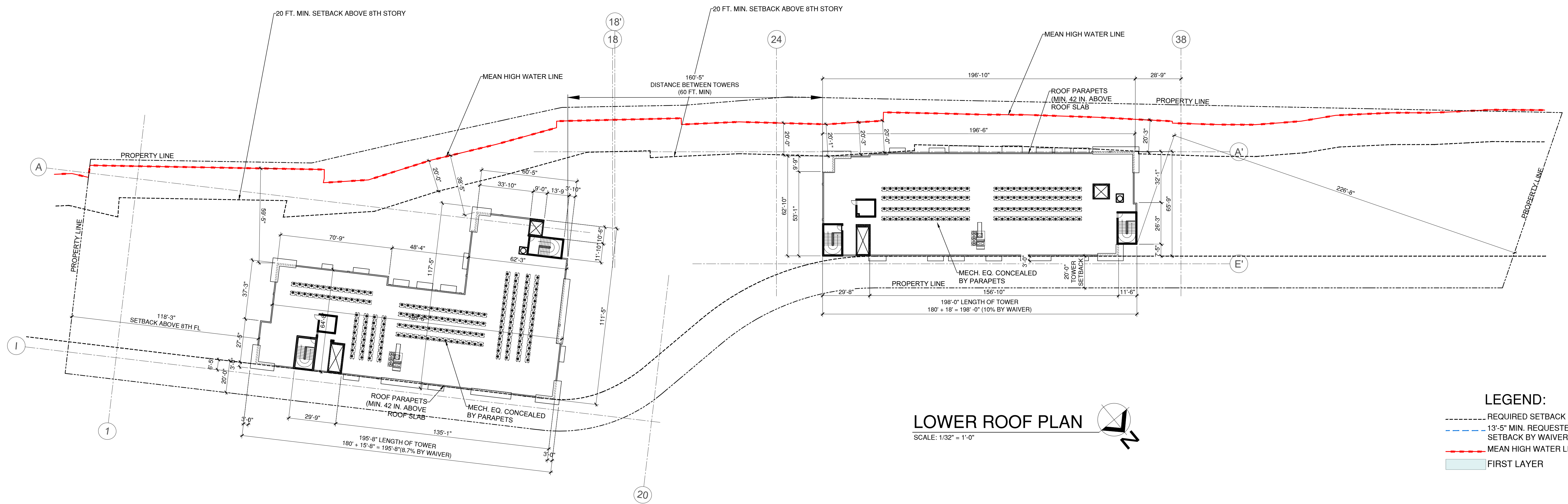


ARCH. CARMEN T. DIAZ
LIC # AR 96290
5001 SW 74th COURT
SUITE 100
MIAMI, FL 33155
TEL (305) 669-5040
FAX (305) 669-5041



SHEET No.:

A-127
WAIVER SET



LOWER ROOF PLAN
SCALE: 1/32" = 1'-0"

- LEGEND:**
- REQUIRED SETBACK
 - - - 13'-5" MIN. REQUESTED WATERFRONT SETBACK BY WAIVER
 - MEAN HIGH WATER LINE
 - FIRST LAYER

SOLAR REFLECTIVE EXTERIOR AREAS

ALL ROOF EXTERIOR SURFACES AND BUILDING MATERIALS USED, SHALL HAVE A MINIMUM SOLAR REFLECTANCE AS SPECIFIED IN SECTIONS 3.13.2.C AND 3.13.2.D WHEN TESTED IN ACCORDANCE WITH ASTM E903 OR ASTM E1918 TESTED WITH A PORTABLE REFLECTOMETER AT NEAR AMBIENT CONDITIONS, LABELED BY THE COOL ROOF RATING COUNCIL, OR LABELED AS AN ENERGY STAR QUALIFIED ROOF PRODUCT. ANY PRODUCT THAT HAS BEEN RATED BY THE COOL ROOF RATING COUNCIL OR BY ENERGY STAR SHALL DISPLAY LABEL VERIFYING THE RATING OF THE PRODUCT.

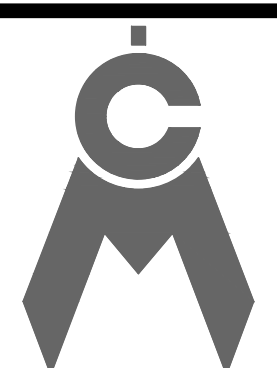
ALL PAVING MATERIALS USED SHALL HAVE A MINIMUM SOLAR REFLECTANCE AS SPECIFIED IN SECTIONS 3.13.2.D WHEN TESTED IN ACCORDANCE WITH ASTM E903 OR ASTM E1918, TESTED WITH A PORTABLE REFLECTOMETER AT NEAR AMBIENT CONDITIONS, OR DEFAULT VALUES OF SOLAR REFLECTANCE FOR LISTED MATERIALS MUST BE USED A NEW GRAY CONCRETE WITH A SOLAR REFLECTIVE 0.35.

PROJECT No.:	REV. #	DATE
	1	05-20-2021- CITY COMM.
DESIGNED BY:	O.M.	
DRAWN BY:		
CHECKED BY:	O.M.	
ISSUE DATE:		07-10-2020
DRAWING SCALE:	AS SHOWN	

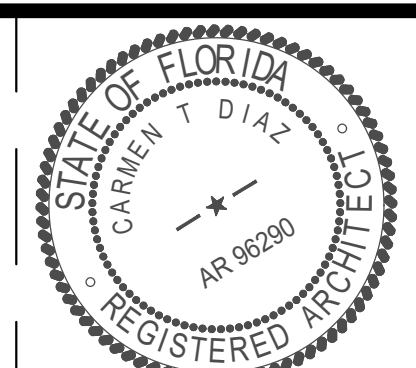
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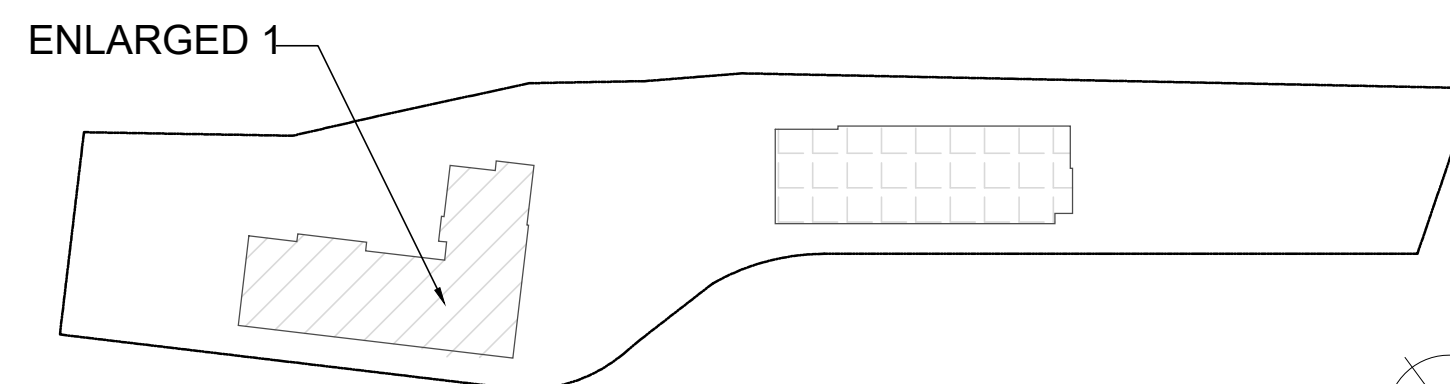


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FAX (305) 669-5041



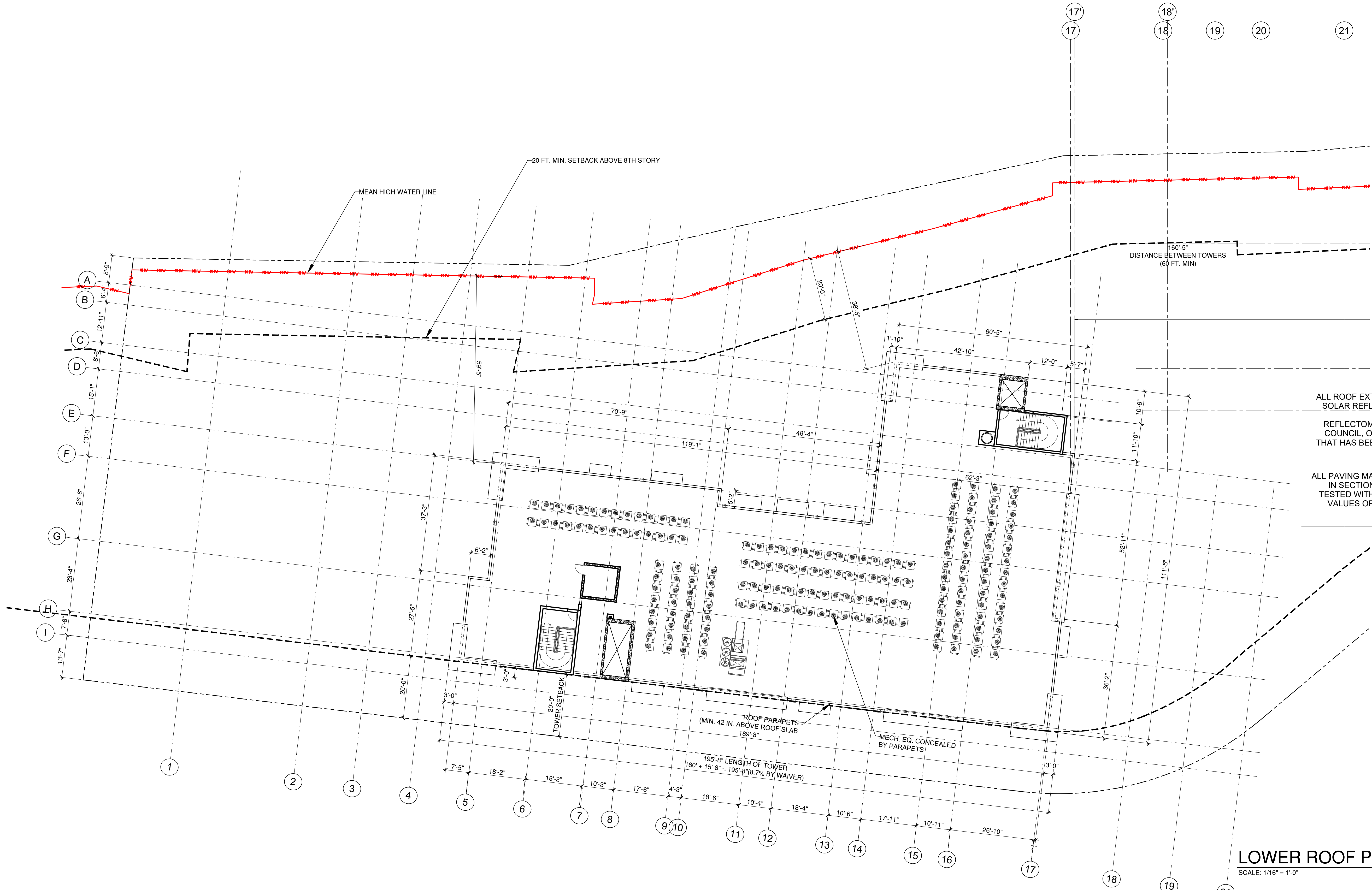
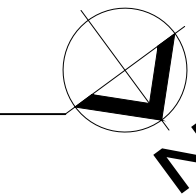
SHEET No:
A128
WAIVER SET

ROOF PLAN



KEY PLAN

SCALE: 1/128" = 1'-0"



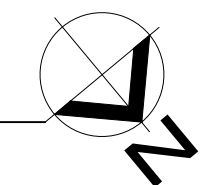
SOLAR REFLECTIVE EXTERIOR AREAS

ALL ROOF EXTERIOR SURFACES AND BUILDING MATERIALS USED, SHALL HAVE A MINIMUM SOLAR REFLECTANCE AS SPECIFIED IN SECTIONS 3.13.2.C AND 3.13.2.D WHEN TESTED IN ACCORDANCE WITH ASTM E903 OR ASTM E1918 TESTED WITH A PORTABLE REFLECTOMETER AT NEAR AMBIENT CONDITIONS, LABELED BY THE COOL ROOF RATING COUNCIL, OR LABELED AS AN ENERGY STAR QUALIFIED ROOF PRODUCT. ANY PRODUCT THAT HAS BEEN RATED BY THE COOL ROOF RATING COUNCIL OR BY ENERGY STAR SHALL DISPLAY LABEL VERIFYING THE RATING OF THE PRODUCT.

ALL PAVING MATERIALS USED SHALL HAVE A MINIMUM SOLAR REFLECTANCE AS SPECIFIED IN SECTIONS 3.13.2.D WHEN TESTED IN ACCORDANCE WITH ASTM E903 OR ASTM E1918, TESTED WITH A PORTABLE REFLECTOMETER AT NEAR AMBIENT CONDITIONS, OR DEFAULT VALUES OF SOLAR REFLECTANCE FOR LISTED MATERIALS MUST BE USED A NEW GRAY CONCRETE WITH A SOLAR REFLECTIVE 0.35.

LOWER ROOF PLAN ENLARGED 1

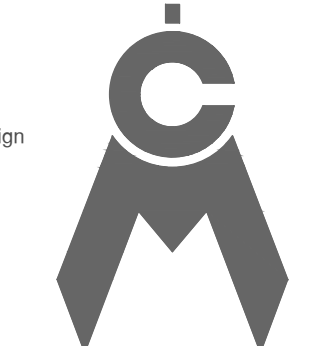
SCALE: 1/16" = 1'-0"



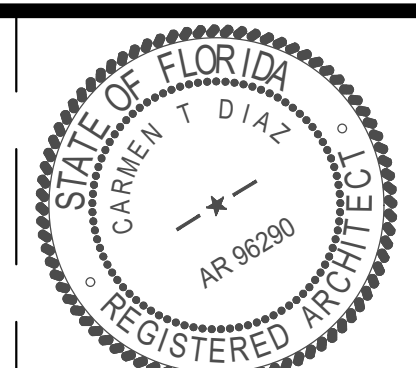
PROJECT No.:	REV. #	DATE
	1	05-20-2021- CITY COMM.
DESIGNED BY:	O.M.	
DRAWN BY:		
CHECKED BY:	O.M.	
ISSUE DATE:		07-10-2020
DRAWING SCALE:	AS SHOWN	

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MIAMI, FL. 33136

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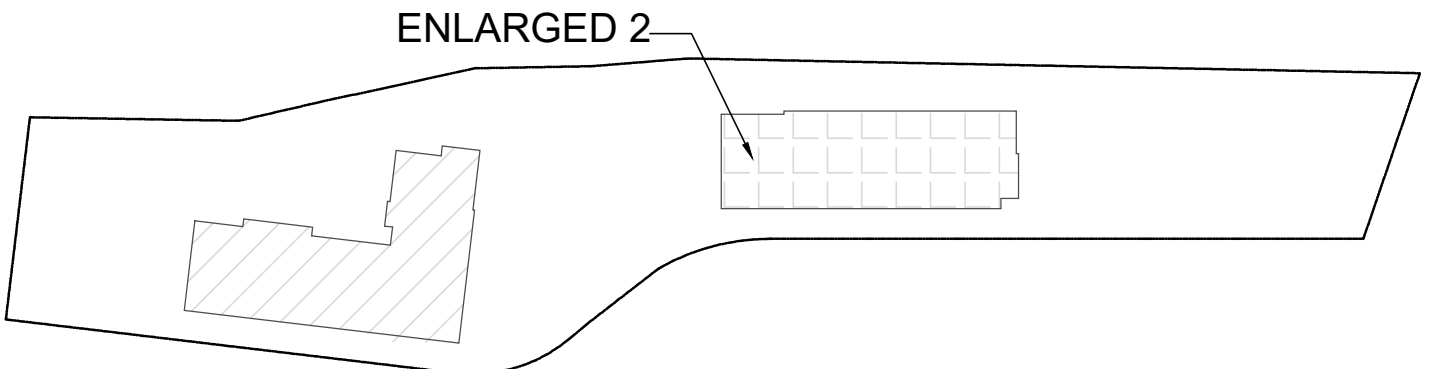
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LIC # AR 96290
5001 SW 74th COURT
SUITE 100
MIAMI, FL 33155
TEL (305) 669-5040
FAX (305) 669-5041



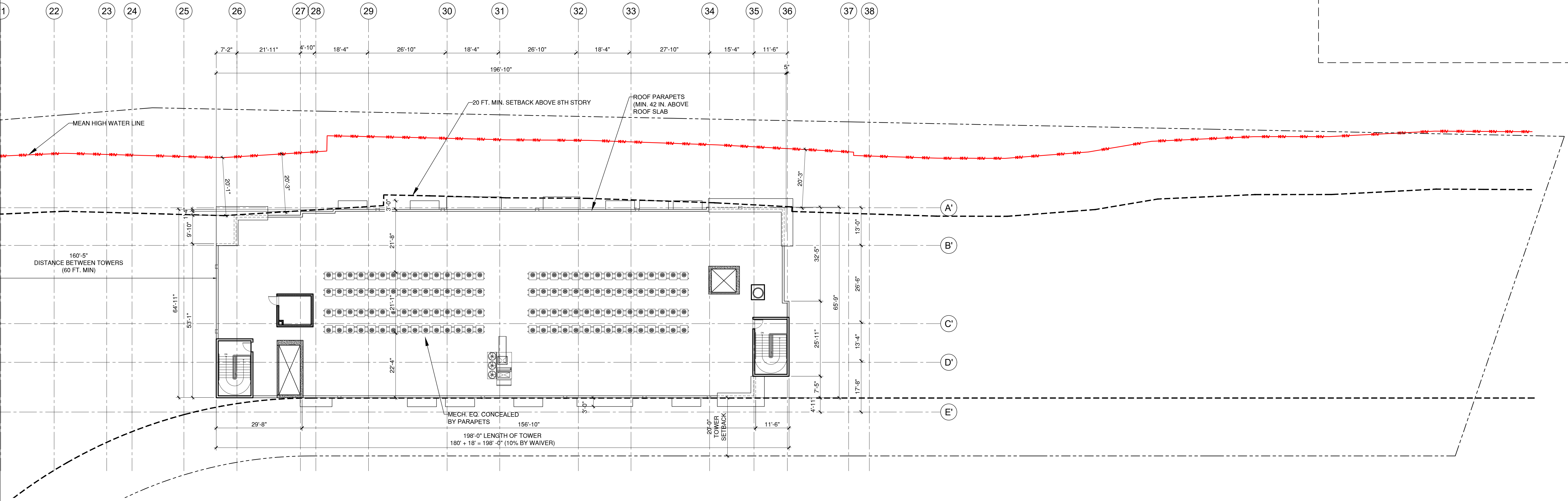
SHEET No.:

A129

ROOF PLAN



KEY PLAN
SCALE: 1/128" = 1'-0"



LOWER ROOF PLAN ENLARGED 2
SCALE: 1/16" = 1'-0"

SOLAR REFLECTIVE EXTERIOR AREAS

ALL ROOF EXTERIOR SURFACES AND BUILDING MATERIALS USED, SHALL HAVE A MINIMUM SOLAR REFLECTANCE AS SPECIFIED IN SECTIONS 3.13.2.C AND 3.13.2.D WHEN TESTED IN ACCORDANCE WITH ASTM E903 OR ASTM E1918 TESTED WITH A PORTABLE REFLECTOMETER AT NEAR AMBIENT CONDITIONS, LABELED BY THE COOL ROOF RATING COUNCIL, OR LABELED AS AN ENERGY STAR QUALIFIED ROOF PRODUCT. ANY PRODUCT THAT HAS BEEN RATED BY THE COOL ROOF RATING COUNCIL OR BY ENERGY STAR SHALL DISPLAY LABEL VERIFYING THE RATING OF THE PRODUCT.

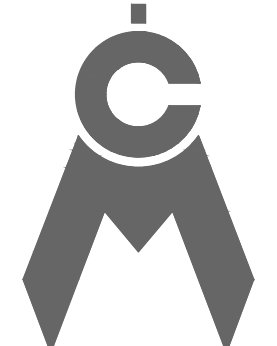
ALL PAVING MATERIALS USED SHALL HAVE A MINIMUM SOLAR REFLECTANCE AS SPECIFIED IN SECTIONS 3.13.2.D WHEN TESTED IN ACCORDANCE WITH ASTM E903 OR ASTM E1918, TESTED WITH A PORTABLE REFLECTOMETER AT NEAR AMBIENT CONDITIONS, OR DEFAULT VALUES OF SOLAR REFLECTANCE FOR LISTED MATERIALS MUST BE USED A NEW GRAY CONCRETE WITH A SOLAR REFLECTIVE 0.35.

PROJECT No.:	REV. #	DATE
	1	05-20-2021- CITY COMM.
DESIGNED BY:	O.M.	
DRAWN BY:	5	
CHECKED BY:	O.M.	
ISSUE DATE:	7	07-10-2020
DRAWING SCALE:	AS SHOWN	

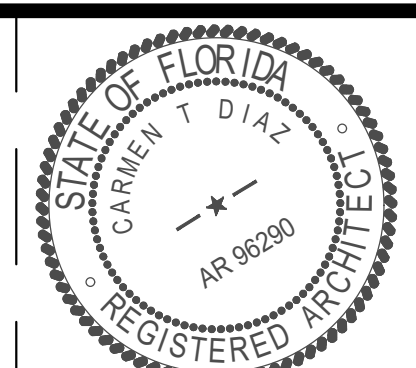
1010 SPRING GARDEN

MIAMI, FL. 33136

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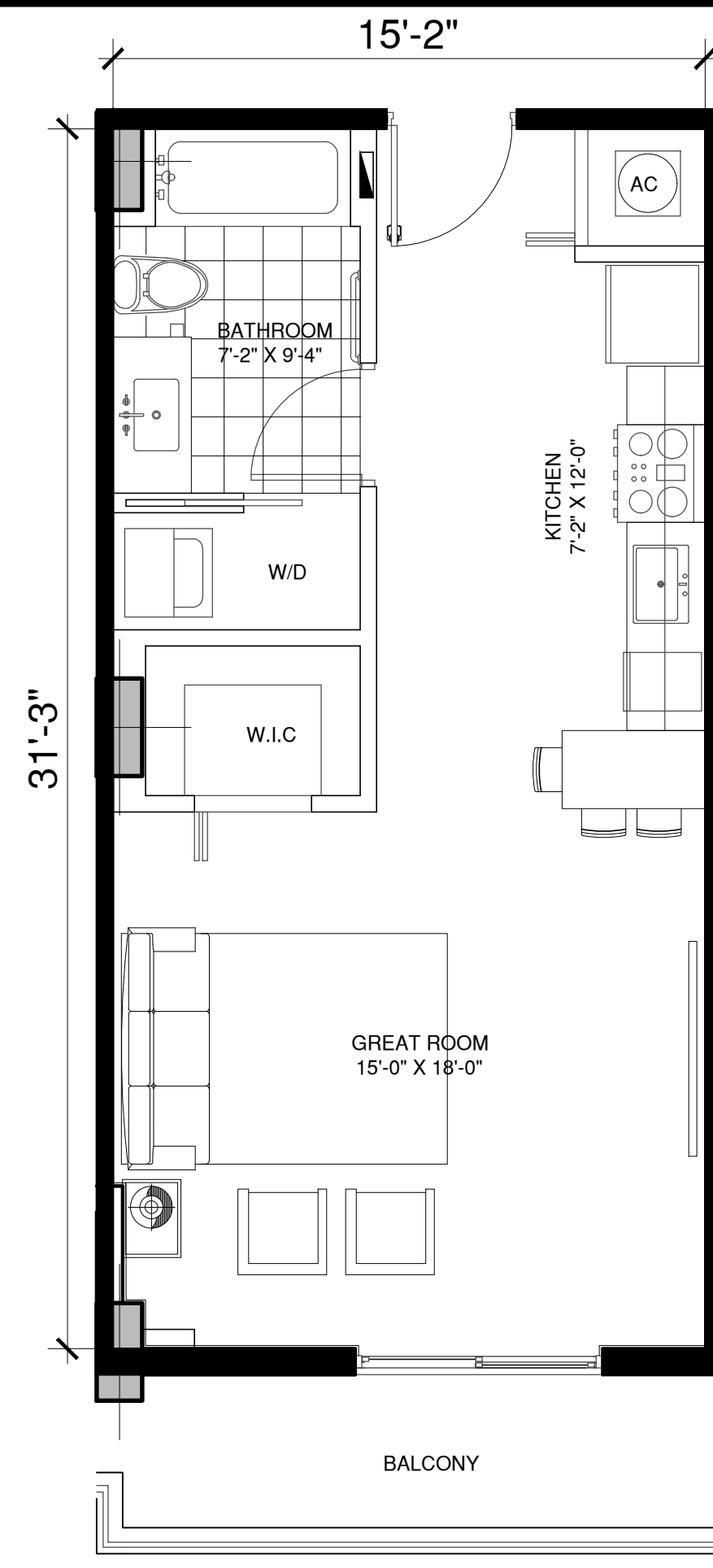


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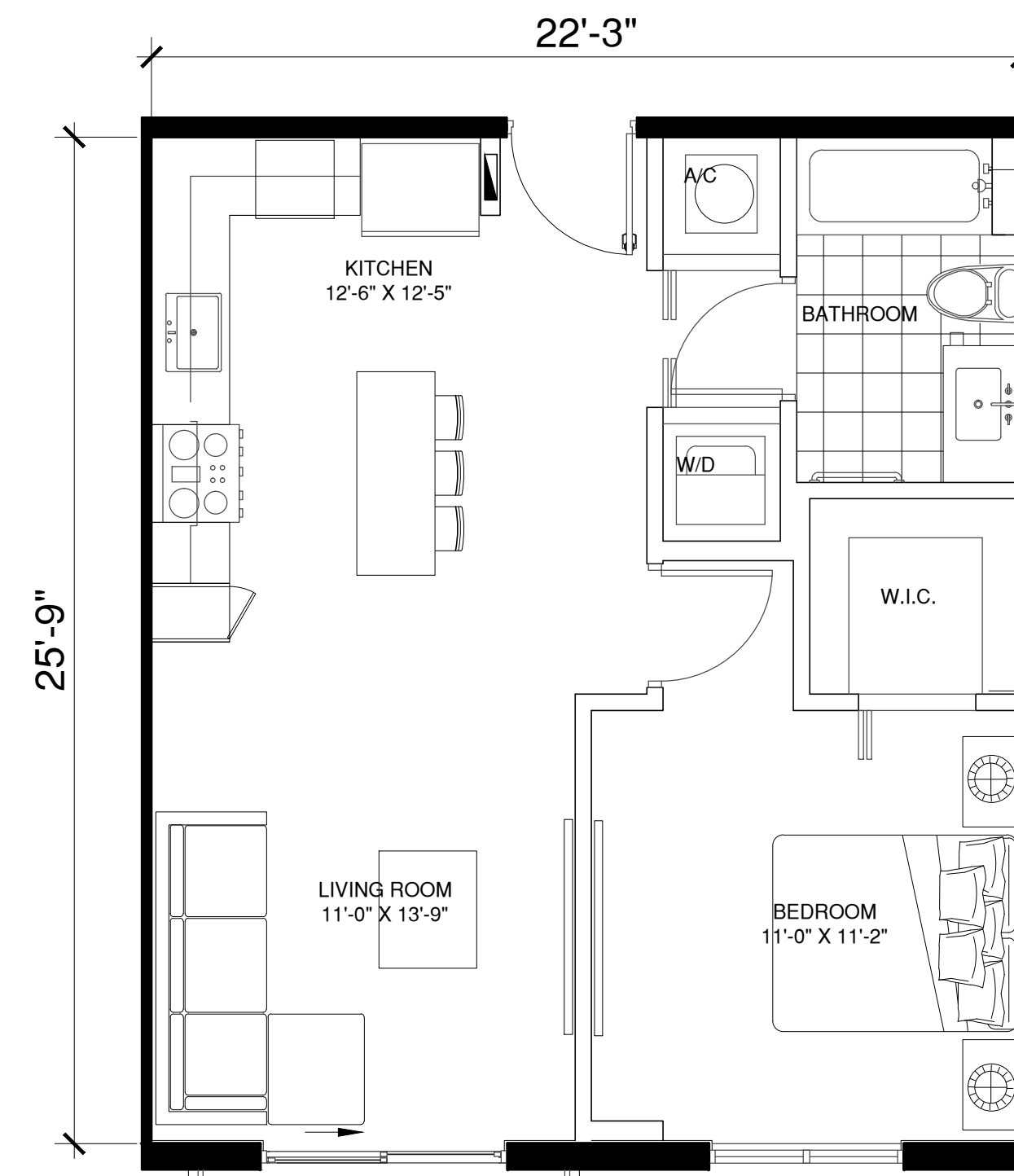
SHEET No:
A130

ROOF PLAN



STUDIO UNIT

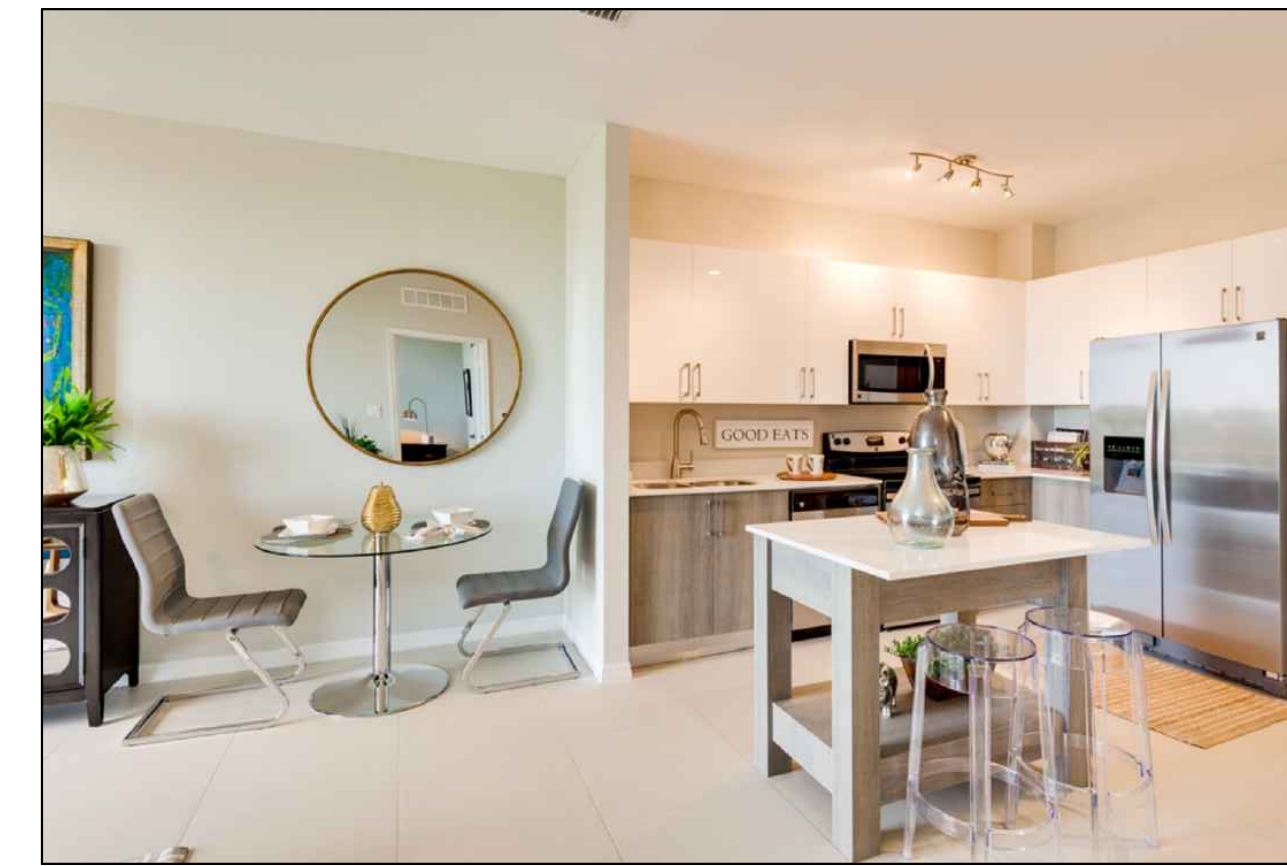
SCALE: 1/4" = 1'-0"



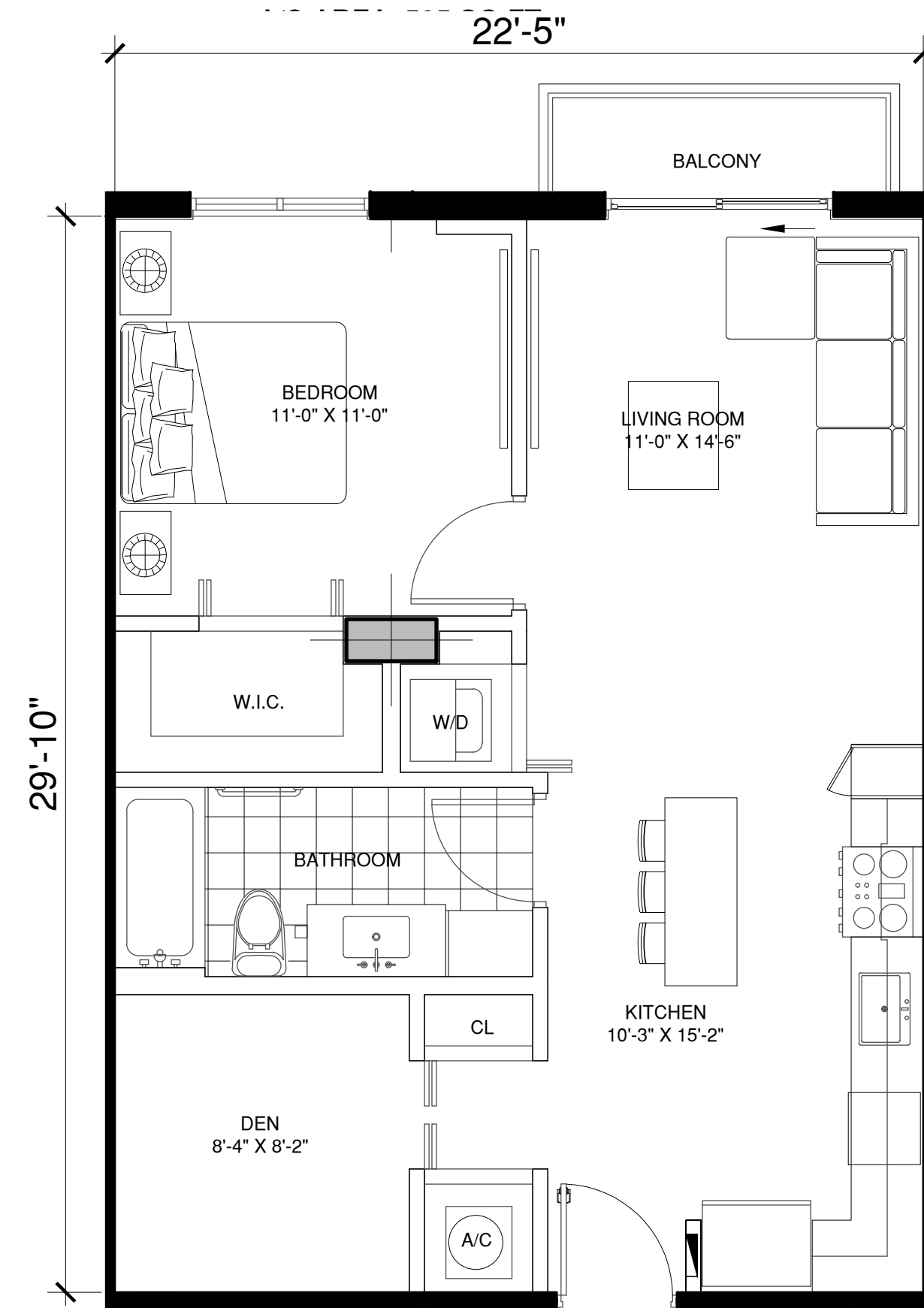
UNIT TYPE "A" 1B/1B

SCALE: 1/4" = 1'-0"

A/C AREA: 610 SQ.FT



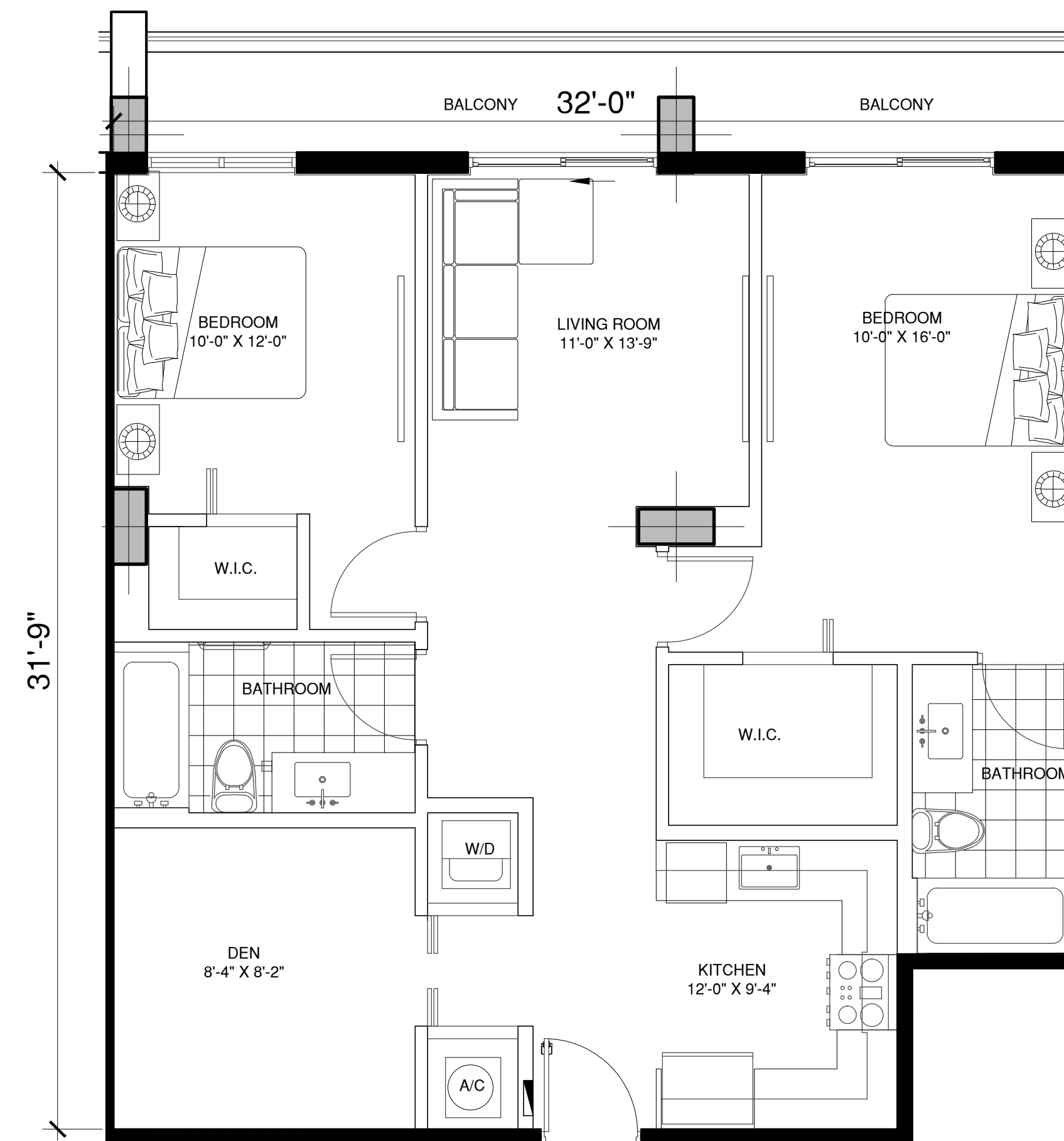
UNITS INSPIRATIONS



UNIT TYPE "A" 1B/1B/D

SCALE: 1/4" = 1'-0"

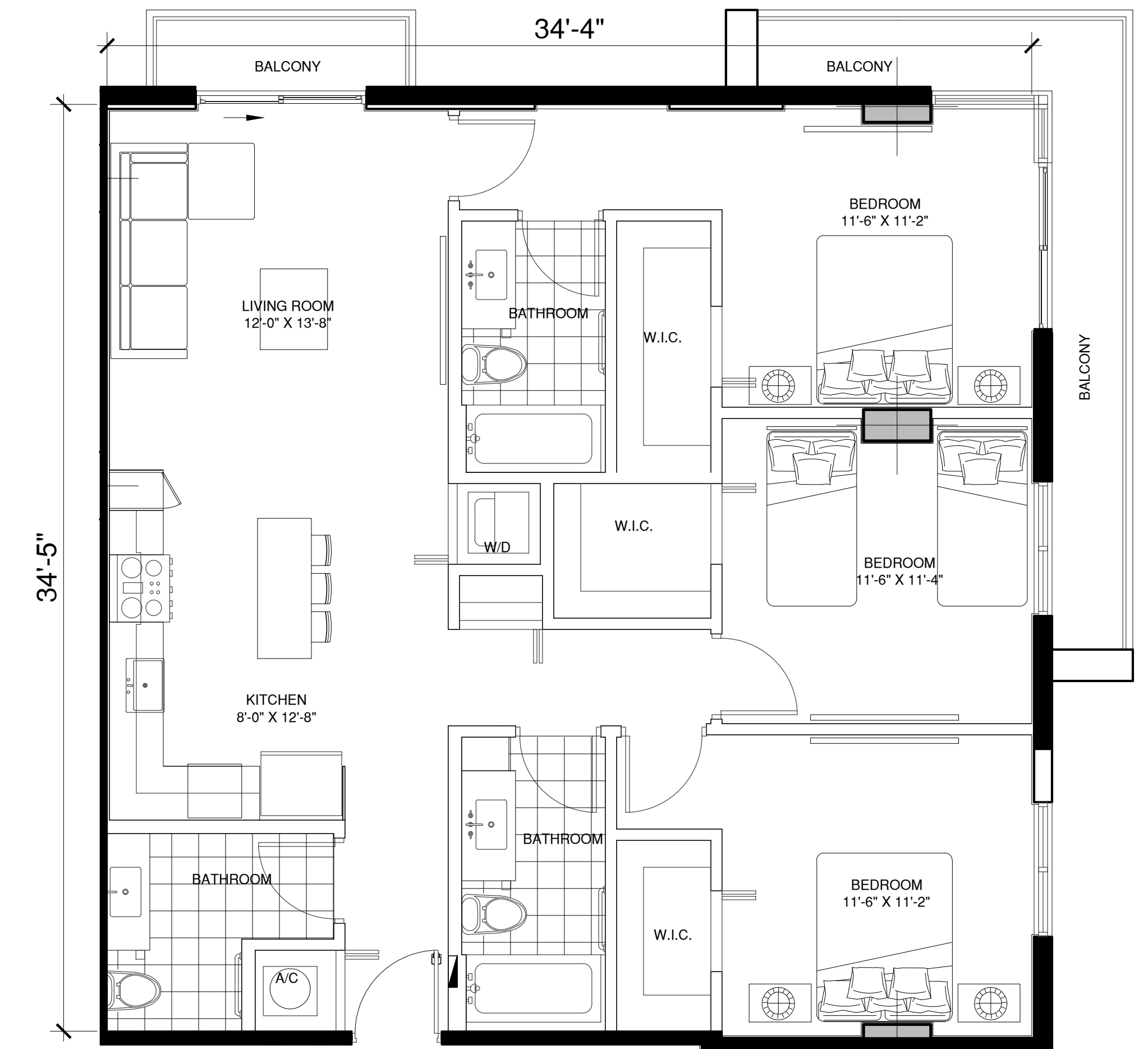
A/C AREA: 705 SQ.FT



UNIT TYPE "B" 2B/2B/D

SCALE: 1/4" = 1'-0"

A/C AREA: 1,035 SQ.FT



UNIT TYPE "C" 3B/2B

SCALE: 1/4" = 1'-0"

A/C AREA: 1,260 SQ.FT

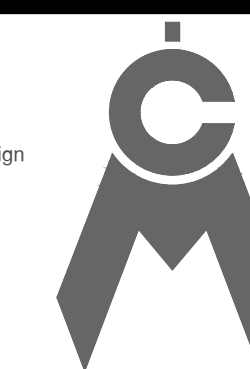
TYPICAL UNITS SAMPLES

PROJECT No.:	REV. #	DATE
DESIGNED BY:	O.M.	
DRAWN BY:		
CHECKED BY:	O.M.	
ISSUE DATE:	07-10-2020	
DRAWING SCALE:	AS SHOWN	

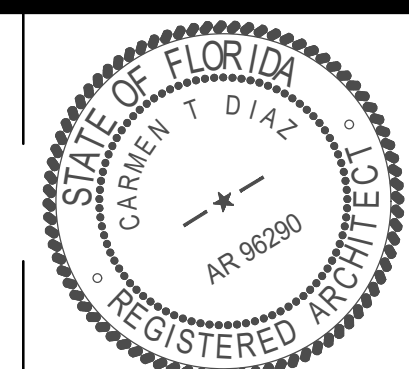
1010 SPRING GARDEN

MIAMI, FL. 33136

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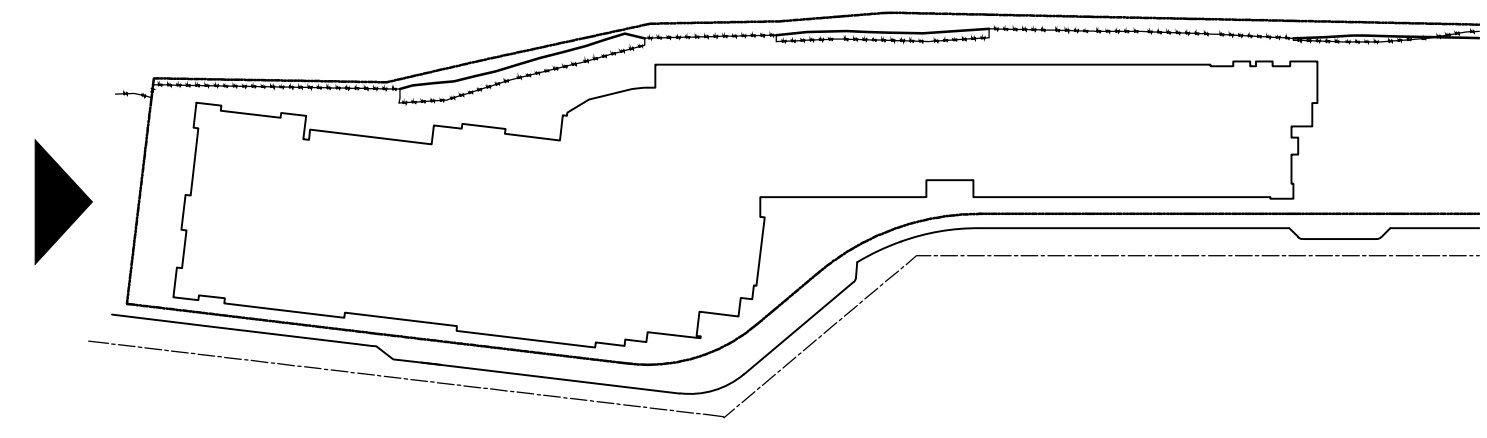
SHEET No:

A-131

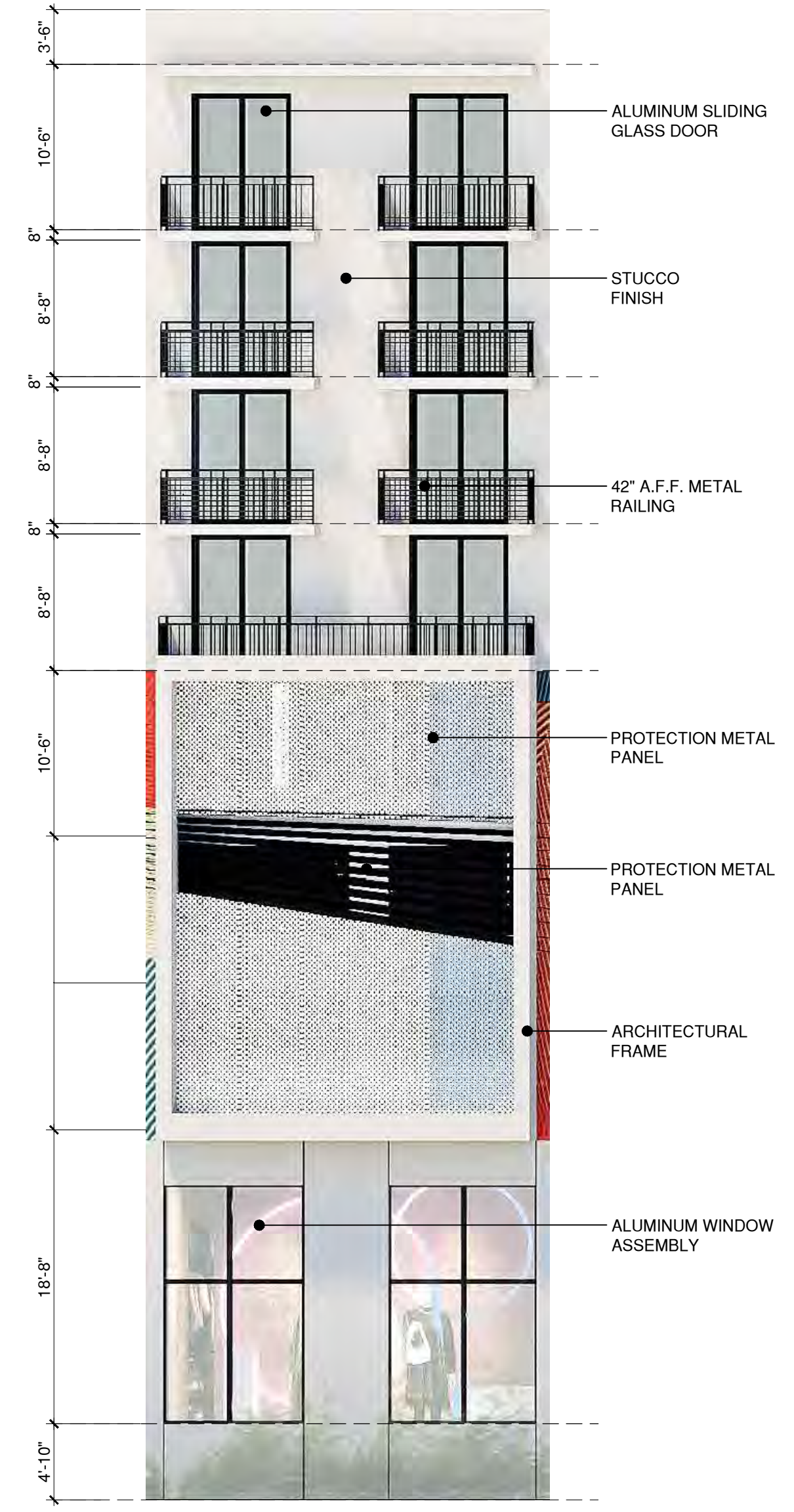
COLOR PALETTE

- 1 BENJAMIN MOOR SILVER SONG (1557)
- 2 BENJAMIN MOOR SUPER WHITE OC-152
- 3 BENJAMIN MOOR AMHERST GRAY HC-167

MATERIAL LEGEND	
KEY VALUE	KEYNOTE DESCRIPTION
01	MASONRY: CMU/CONCRETE SUBSTRATE W/SMOOTH STUCCO FINISH, HIGH BUILD, ACRYLIC WATERPROOFING COATING (THOROCOAT BY BASF BUILDING SYSTEMS, OR ACCEPTABLE EQUIVALENT). COLOR PAINT TO BE SELECTED BY ARCHITECT.
02	ALUMINUM SLIDING GLASS DOOR ASSEMBLY W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS
03	ALUMINUM WINDOW ASSEMBLY W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
04	ALUMINUM STOREFRONT ASSEMBLY LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
05	CONCRETE SCORE LINES AT FACADE WALLS
06	42" A.F.F. METAL RAILING ENCLOSURE AT BALCONY & TERRACE
07	ARCHITECTURAL FRAME
08	ALUMINUM SUN CONTROL LOUVER
09	MOTORIZED OVERHEAD COILING DOOR TO MEET WIND LOAD REQUIREMENTS
10	EXTERIOR STAIR AS PEDESTRIAN ACCESS TO BUILDING
11	42" A.F.F. ROOF PARAPET



2- KEY PLAN



1 A-201 ELEVATION - DETAIL
SCALE: 1" = 1/8"



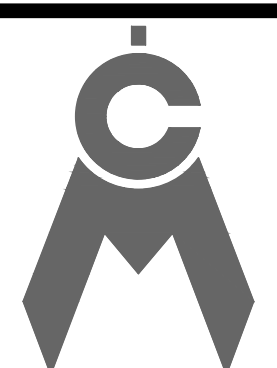
1 A-201 ELEVATION - A
SCALE: 1" = 1/16"

PROJECT No.:	REV. #	DATE
	1	
DESIGNED BY:	O.M.	
	2	
	3	
DRAWN BY:		
	4	
	5	
CHECKED BY:	O.M.	
	6	
ISSUE DATE:	07-10-2020	
	7	
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	9	
DRAWING SCALE:	AS SHOWN	
	10	

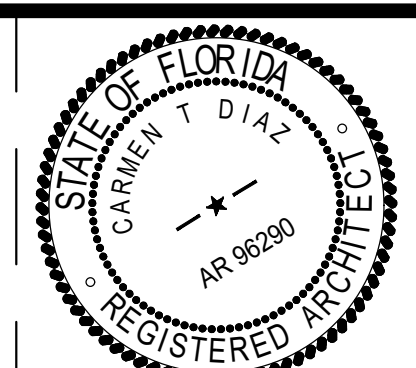
1010 SPRING GARDEN

MIAMI, FL. 33136

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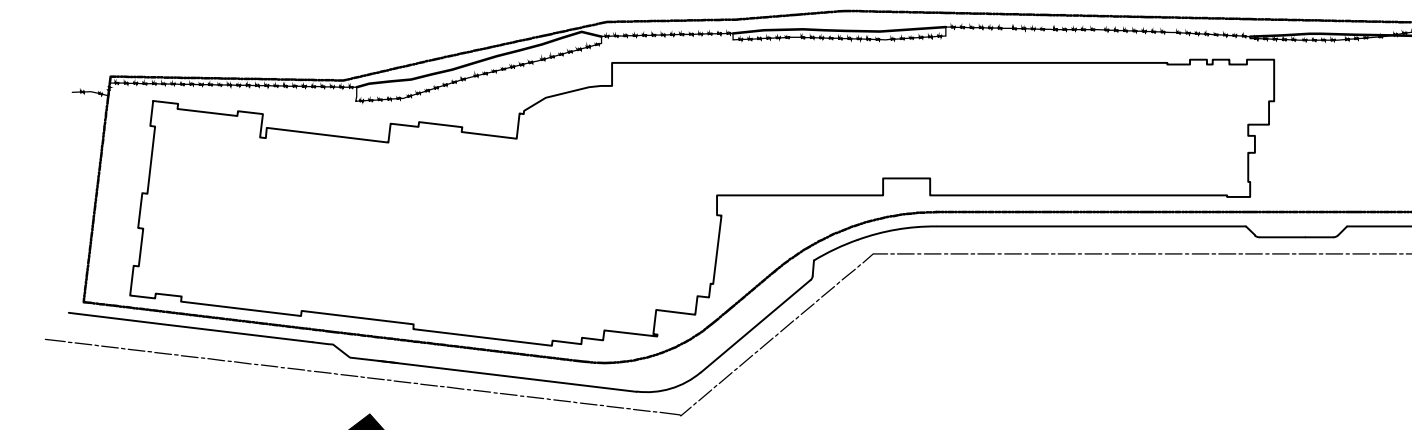
ARCH. CARMEN T. DIAZ
LIC # AR 96290
5001 S.W. 74th COURT
SUITE 100
MIAMI, FL 33155
TEL. (305) 669-5040
FAX (305) 669-5041



COLOR PALETTE

- 1 BENJAMIN MOOR SILVER SONG (1557)
- 2 BENJAMIN MOOR SUPER WHITE OC-152
- 3 BENJAMIN MOOR AMHERST GRAY HC-167

MATERIAL LEGEND	
KEY VALUE	KEYNOTE DESCRIPTION
01	MASONRY: CMU/CONCRETE SUBSTRATE W/SMOOTH STUCCO FINISH, HIGH BUILD, ACRYLIC WATERPROOFING COATING (THOROCOAT BY BASF BUILDING SYSTEMS, OR ACCEPTABLE EQUIVALENT). COLOR PAINT TO BE SELECTED BY ARCHITECT.
02	ALUMINUM SLIDING GLASS DOOR ASSEMBLY, W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS
03	ALUMINUM WINDOW ASSEMBLY, W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
04	ALUMINUM STOREFRONT ASSEMBLY, LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
05	CONCRETE SCORE LINES AT FACADE WALLS
06	42" A.F.F. METAL RAILING ENCLOSURE AT BALCONY & TERRACE
07	ARCHITECTURAL FRAME
08	ALUMINUM SUN CONTROL LOUVER
09	MOTORIZED OVERHEAD COILING DOOR, TO MEET WIND LOAD REQUIREMENTS
10	EXTERIOR STAIR AS PEDESTRIAN ACCESS TO BUILDING
11	42" A.F.F. ROOF PARAPET



2- KEY PLAN



ELEVATION - B
SCALE: 1" = 1/16"

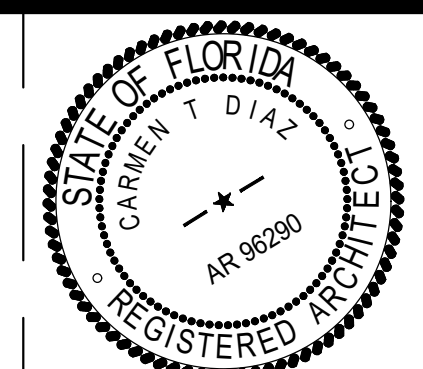
PROJECT No.:	REV. #	DATE
	1	
DESIGNED BY:	O.M.	
	2	
	3	
DRAWN BY:		
	4	
	5	
CHECKED BY:	O.M.	
	6	
ISSUE DATE:	07-10-2020	
	7	
	8	
	9	
DRAWING SCALE:	AS SHOWN	
	10	

1010 SPRING GARDEN
MIAMI, FL. 33136

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LIC # AR 96290
5001 S.W. 74th COURT
SUITE 100
MIAMI, FL 33155
TEL: (305) 669-5040
FAX: (305) 669-5041



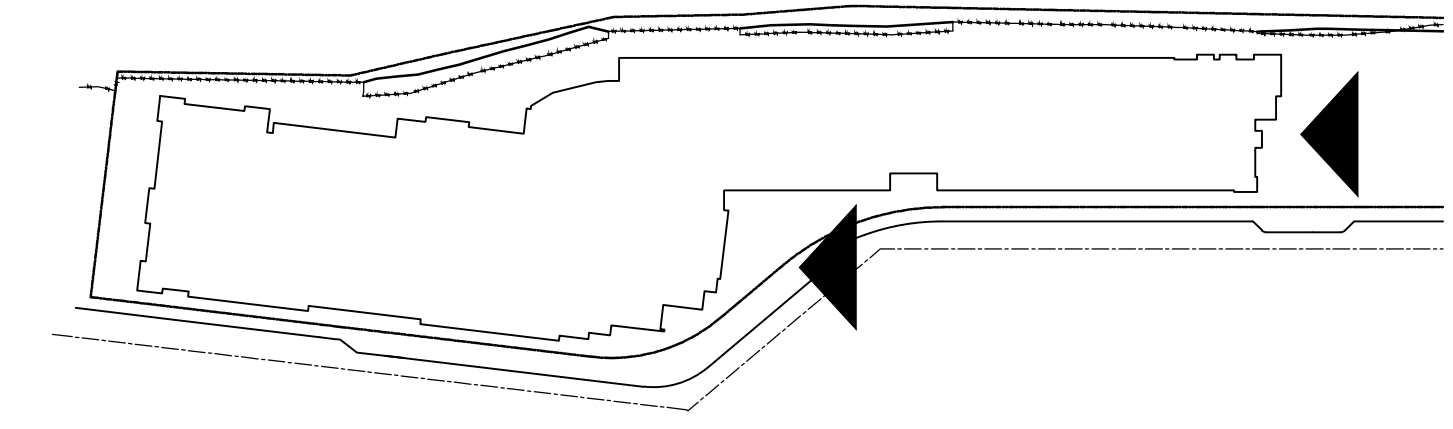
SHEET No.:

A-202

COLOR PALETTE

- 1 BENJAMIN MOOR SILVER SONG (1557)
- 2 BENJAMIN MOOR SUPER WHITE OC-152
- 3 BENJAMIN MOOR AMHERST GRAY HC-167

MATERIAL LEGEND	
KEY VALUE	KEYNOTE DESCRIPTION
01	MASONRY: CMU/CONCRETE SUBSTRATE W/SMOOTH STUCCO FINISH, HIGH BUILD, ACRYLIC WATERPROOFING COATING (THOROCOAT BY BASF BUILDING SYSTEMS, OR ACCEPTABLE EQUIVALENT). COLOR PAINT TO BE SELECTED BY ARCHITECT.
02	ALUMINUM SLIDING GLASS DOOR ASSEMBLY W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS
03	ALUMINUM WINDOW ASSEMBLY W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
04	ALUMINUM STOREFRONT ASSEMBLY LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
05	CONCRETE SCORE LINES AT FACADE WALLS
06	42" A.F.F. METAL RAILING ENCLOSURE AT BALCONY & TERRACE
07	ARCHITECTURAL FRAME
08	ALUMINUM SUN CONTROL LOUVER
09	MOTORIZED OVERHEAD COILING DOOR TO MEET WIND LOAD REQUIREMENTS
10	EXTERIOR STAIR AS PEDESTRIAN ACCESS TO BUILDING
11	42" A.F.F. ROOF PARAPET



2- KEY PLAN



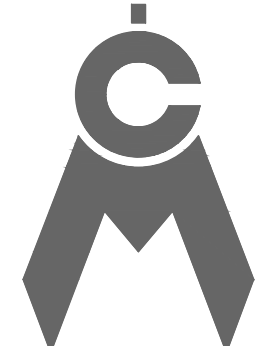
ELEVATION - C
SCALE: 1" = 1/16"

PROJECT No.:	REV. #	DATE
	1	
DESIGNED BY:	O.M.	
	2	
	3	
DRAWN BY:		
	4	
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CHECKED BY:	O.M.	
	6	
ISSUE DATE:	07-10-2020	
	7	
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DRAWING SCALE:	AS SHOWN	
	10	

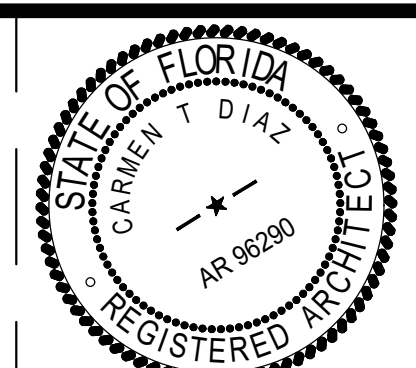
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LIC # AR 96290
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FAX (305) 669-5041

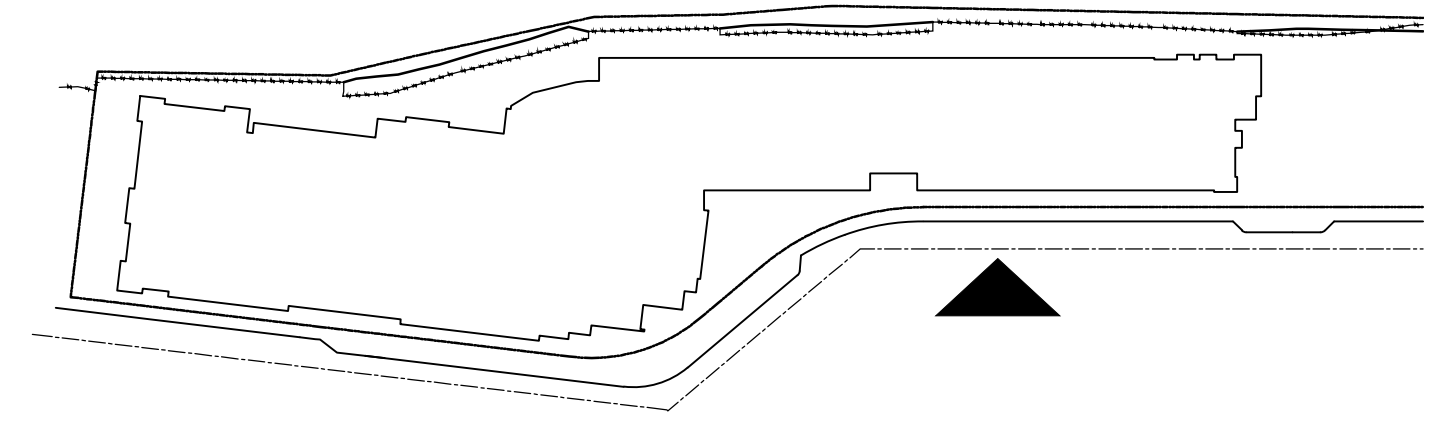


SHEET No:
A-203

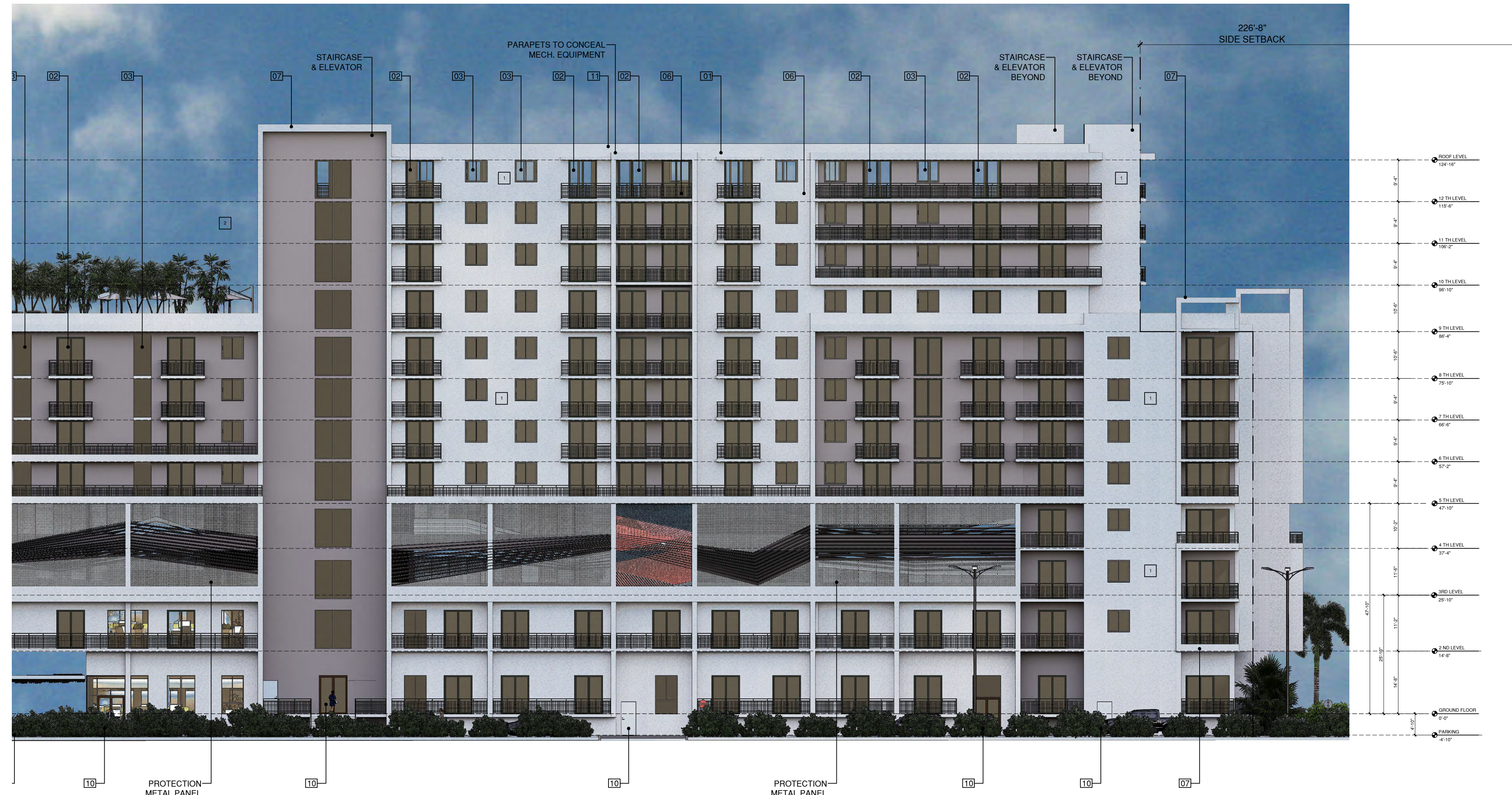
COLOR PALETTE

- 1 BENJAMIN MOOR SILVER SONG (1557)
- 2 BENJAMIN MOOR SUPER WHITE OC-152
- 3 BENJAMIN MOOR AMHERST GRAY HC-167

MATERIAL LEGEND	
KEY VALUE	KEYNOTE DESCRIPTION
01	MASONRY: CMU/CONCRETE SUBSTRATE W/SMOOTH STUCCO FINISH, HIGH BUILD, ACRYLIC WATERPROOFING COATING (THOROCOAT BY BASF BUILDING SYSTEMS, OR ACCEPTABLE EQUIVALENT). COLOR PAINT TO BE SELECTED BY ARCHITECT.
02	ALUMINUM SLIDING GLASS DOOR ASSEMBLY W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS
03	ALUMINUM WINDOW ASSEMBLY W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
04	ALUMINUM STOREFRONT ASSEMBLY LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
05	CONCRETE SCORE LINES AT FACADE WALLS
06	42" A.F.F. METAL RAILING ENCLOSURE AT BALCONY & TERRACE
07	ARCHITECTURAL FRAME
08	ALUMINUM SUN CONTROL LOUVER
09	MOTORIZED OVERHEAD COILING DOOR TO MEET WIND LOAD REQUIREMENTS
10	EXTERIOR STAIR AS PEDESTRIAN ACCESS TO BUILDING
11	42" A.F.F ROOF PARAPET



2- KEY PLAN

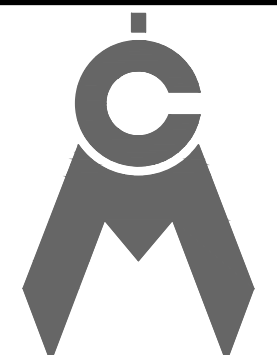


ELEVATION -D
SCALE: 1" = 1/16"

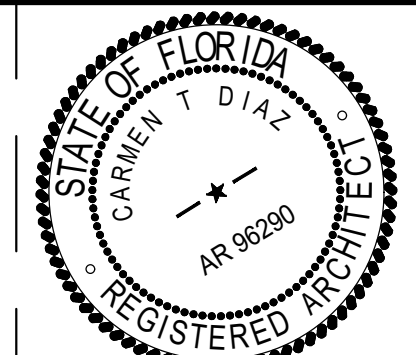
PROJECT No.:	REV. #	DATE
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	2	
DESIGNED BY:	O.M.	
	3	
	4	
DRAWN BY:		
	5	
CHECKED BY:	O.M.	
	6	
ISSUE DATE:		07-10-2020
	7	
	8	
	9	
DRAWING SCALE:	AS SHOWN	10

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MIAMI, FL. 33136

CAYMARES MARTIN
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LIC # AR 96290
5001 S.W. 74th COURT
SUITE 100
MIAMI, FL 33155
TEL. (305) 669-5040
FAX (305) 669-5041



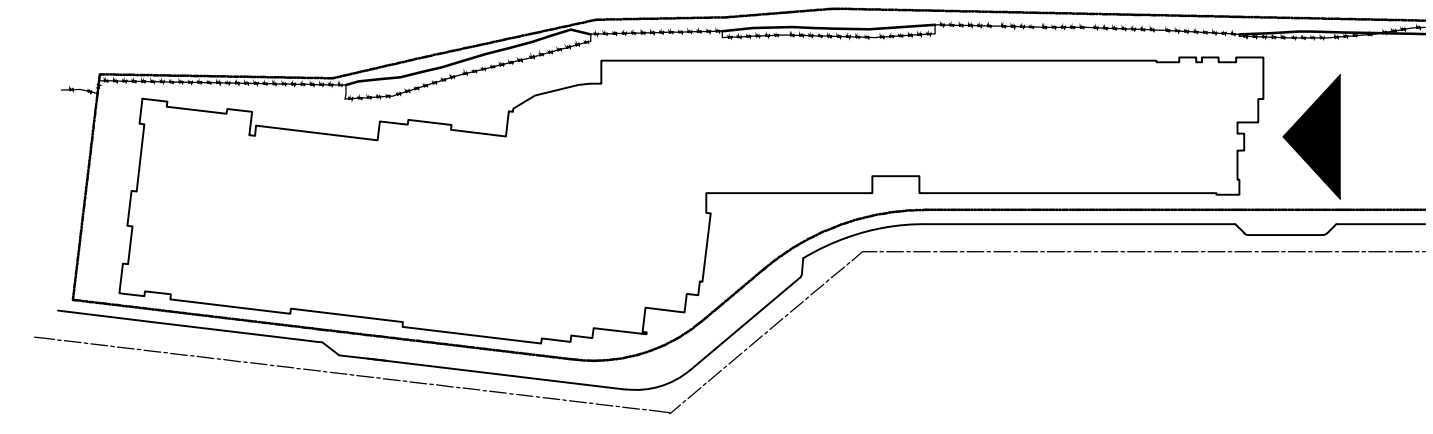
SHEET No:

A-204

COLOR PALETTE

- 1 BENJAMIN MOOR SILVER SONG (1557)
- 2 BENJAMIN MOOR SUPER WHITE OC-152
- 3 BENJAMIN MOOR AMHERST GRAY HC-167

MATERIAL LEGEND	
KEY VALUE	KEYNOTE DESCRIPTION
01	MASONRY: CMU/CONCRETE SUBSTRATE W/SMOOTH STUCCO FINISH, HIGH BUILD, ACRYLIC WATERPROOFING COATING (THOROCOAT BY BASF BUILDING SYSTEMS, OR ACCEPTABLE EQUIVALENT). COLOR PAINT TO BE SELECTED BY ARCHITECT.
02	ALUMINUM SLIDING GLASS DOOR ASSEMBLY W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS
03	ALUMINUM WINDOW ASSEMBLY W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
04	ALUMINUM STOREFRONT ASSEMBLY LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
05	CONCRETE SCORE LINES AT FACADE WALLS
06	42" A.F.F. METAL MESH RAILING ENCLOSURE AT BALCONY & TERRACE
07	ARCHITECTURAL FRAME
08	ALUMINUM SUN CONTROL LOUVER
09	MOTORIZED OVERHEAD COILING DOOR TO MEET WIND LOAD REQUIREMENTS
10	EXTERIOR STAIR AS PEDESTRIAN ACCESS TO BUILDING
11	42" A.F.F ROOF PARAPET



2- KEY PLAN

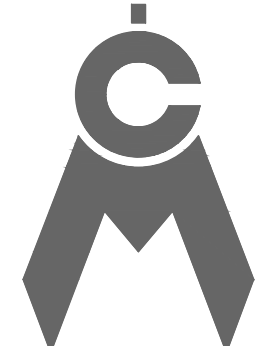


ELEVATION - E
SCALE: 1" = 1/16"

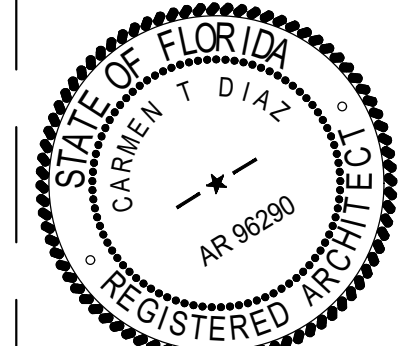
PROJECT No.:	REV. #	DATE
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DESIGNED BY: O.M.	2	
	3	
DRAWN BY:	4	
	5	
CHECKED BY: O.M.	6	
	7	
ISSUE DATE: 07-10-2020	8	
	9	
DRAWING SCALE: AS SHOWN	10	

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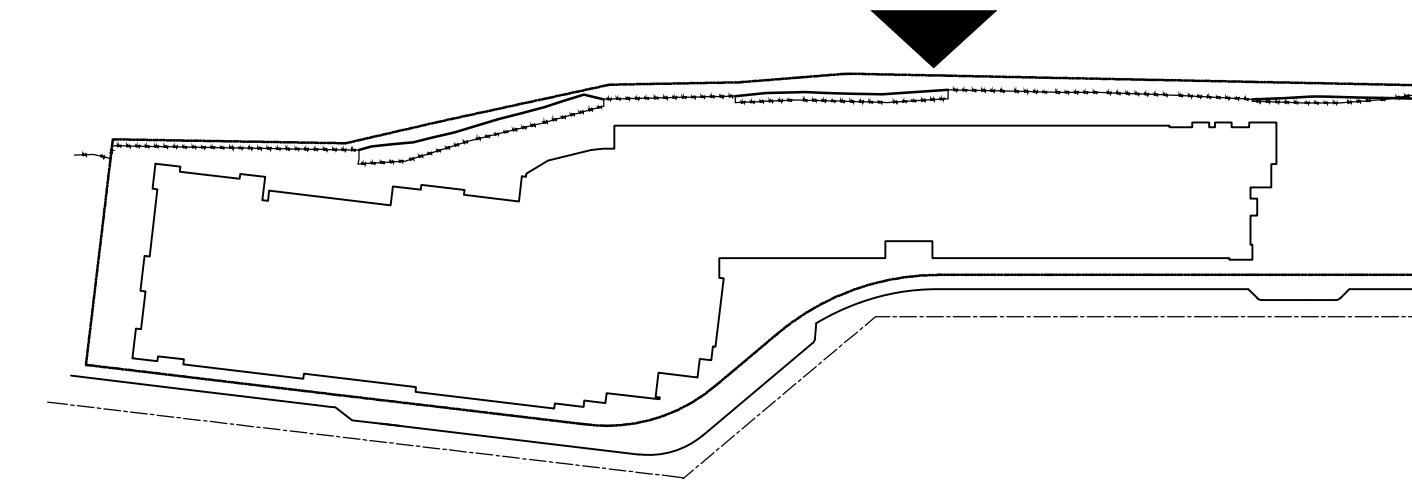


SHEET No:
A-205

COLOR PALETTE

- 1 BENJAMIN MOOR SILVER SONG (1557)
- 2 BENJAMIN MOOR SUPER WHITE OC-152
- 3 BENJAMIN MOOR AMHERST GRAY HC-167

MATERIAL LEGEND	
KEY VALUE	KEYNOTE DESCRIPTION
01	MASONRY: CMU/CONCRETE SUBSTRATE W/SMOOTH STUCCO FINISH, HIGH BUILD, ACRYLIC WATERPROOFING COATING (THOROCOAT BY BASF BUILDING SYSTEMS, OR ACCEPTABLE EQUIVALENT). COLOR PAINT TO BE SELECTED BY ARCHITECT.
02	ALUMINUM SLIDING GLASS DOOR ASSEMBLY, W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS
03	ALUMINUM WINDOW ASSEMBLY, W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
04	ALUMINUM STOREFRONT ASSEMBLY, LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
05	CONCRETE SCORE LINES AT FACADE WALLS
06	42" A.F.F. METAL RAILING ENCLOSURE AT BALCONY & TERRACE
07	ARCHITECTURAL FRAME
08	ALUMINUM SUN CONTROL LOUVER
09	MOTORIZED OVERHEAD COILING DOOR, TO MEET WIND LOAD REQUIREMENTS
10	EXTERIOR STAIR AS PEDESTRIAN ACCESS TO BUILDING
11	42" A.F.F. ROOF PARAPET



2- KEY PLAN



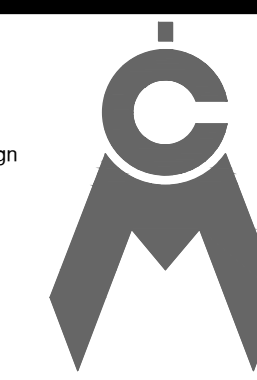
ELEVATION - F
SCALE: 1" = 1/16"

PROJECT No.:	REV. #	DATE
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	2	
DESIGNED BY:	O.M.	3
	4	
DRAWN BY:	5	
	6	
CHECKED BY:	O.M.	7
	8	
ISSUE DATE:	07-10-2020	9
	10	
DRAWING SCALE:	AS SHOWN	

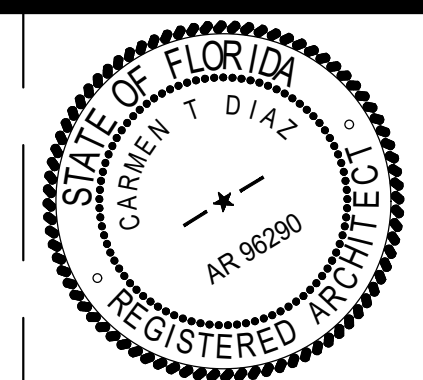
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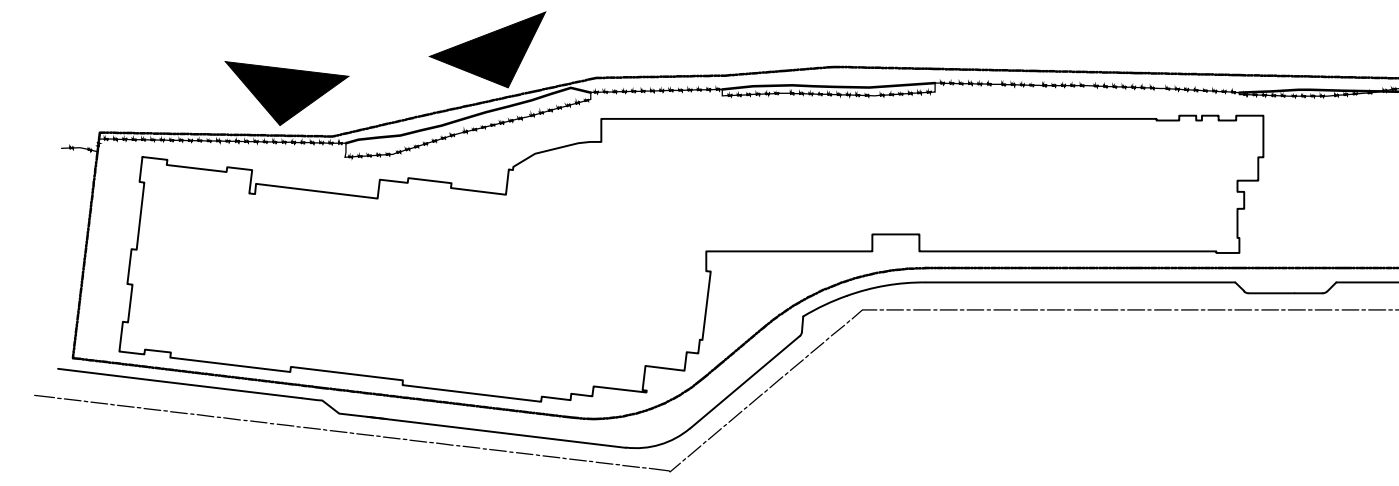
SHEET No.:

A-206

COLOR PALETTE

- 1 BENJAMIN MOOR SILVER SONG (1557)
- 2 BENJAMIN MOOR SUPER WHITE OC-152
- 3 BENJAMIN MOOR AMHERST GRAY HC-167

MATERIAL LEGEND	
KEY VALUE	KEYNOTE DESCRIPTION
01	MASONRY: CMU/CONCRETE SUBSTRATE W/SMOOTH STUCCO FINISH, HIGH BUILD, ACRYLIC WATERPROOFING COATING (THOROCOAT BY BASF BUILDING SYSTEMS, OR ACCEPTABLE EQUIVALENT). COLOR PAINT TO BE SELECTED BY ARCHITECT.
02	ALUMINUM SLIDING GLASS DOOR ASSEMBLY, W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS
03	ALUMINUM WINDOW ASSEMBLY, W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
04	ALUMINUM STOREFRONT ASSEMBLY, LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
05	CONCRETE SCORE LINES AT FACADE WALLS
06	42" A.F.F. METAL RAILING ENCLOSURE AT BALCONY & TERRACE
07	ARCHITECTURAL FRAME
08	ALUMINUM SUN CONTROL LOUVER
09	MOTORIZED OVERHEAD COILING DOOR, TO MEET WIND LOAD REQUIREMENTS
10	EXTERIOR STAIR AS PEDESTRIAN ACCESS TO BUILDING
11	42" A.F.F. ROOF PARAPET



2- KEY PLAN



ELEVATION -G
SCALE: 1" = 1/16"

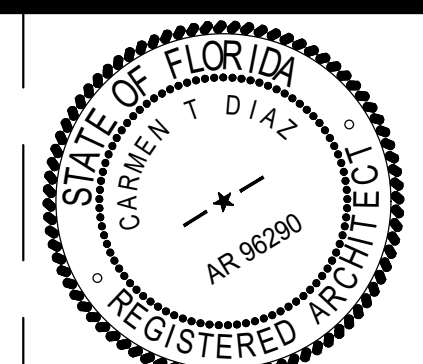
PROJECT No.:	REV. #	DATE
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DESIGNED BY:	O.M.	
	2	
	3	
DRAWN BY:		
	4	
	5	
CHECKED BY:	O.M.	
	6	
ISSUE DATE:	07-10-2020	
	7	
	8	
	9	
DRAWING SCALE:	AS SHOWN	
	10	

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FAX (305) 669-5041



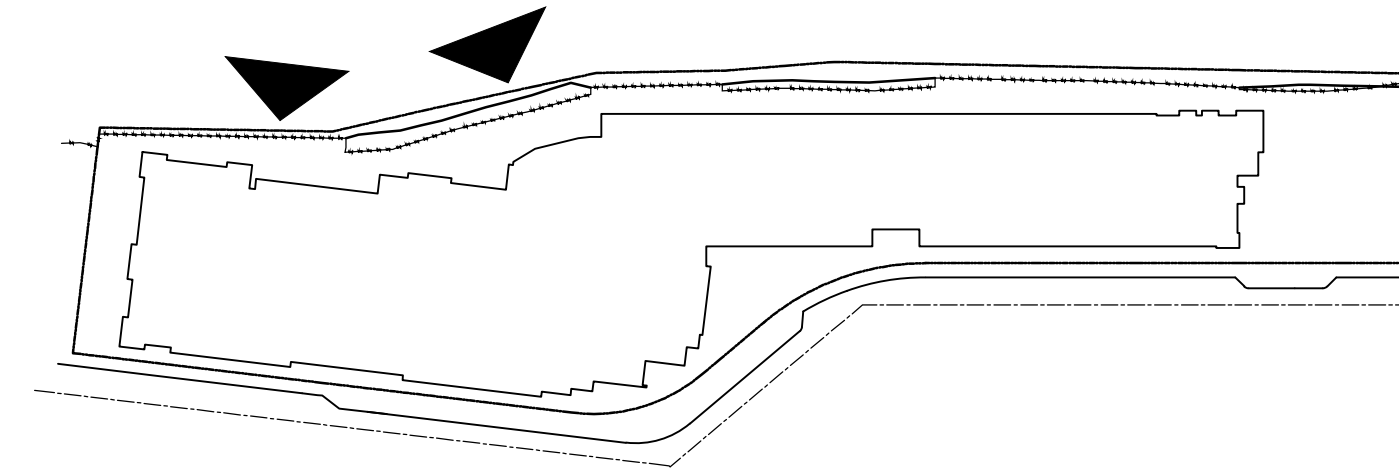
SHEET No.:

A-207

COLOR PALETTE

- 1 BENJAMIN MOOR SILVER SONG (1557)
- 2 BENJAMIN MOOR SUPER WHITE OC-152
- 3 BENJAMIN MOOR AMHERST GRAY HC-167

MATERIAL LEGEND	
KEY VALUE	KEYNOTE DESCRIPTION
01	MASONRY: CMU/CONCRETE SUBSTRATE W/SMOOTH STUCCO FINISH, HIGH BUILD, ACRYLIC WATERPROOFING COATING (THOROCOAT BY BASF BUILDING SYSTEMS, OR ACCEPTABLE EQUIVALENT). COLOR PAINT TO BE SELECTED BY ARCHITECT.
02	ALUMINUM SLIDING GLASS DOOR ASSEMBLY, W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS
03	ALUMINUM WINDOW ASSEMBLY, W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
04	ALUMINUM STOREFRONT ASSEMBLY, LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
05	CONCRETE SCORE LINES AT FACADE WALLS
06	42" A.F.F. METAL RAILING ENCLOSURE AT BALCONY & TERRACE
07	ARCHITECTURAL FRAME
08	ALUMINUM SUN CONTROL LOUVER
09	MOTORIZED OVERHEAD COILING DOOR, TO MEET WIND LOAD REQUIREMENTS
10	EXTERIOR STAIR AS PEDESTRIAN ACCESS TO BUILDING
11	42" A.F.F. ROOF PARAPET



2- KEY PLAN



ELEVATION -H
SCALE: 1" = 1/16"

PROJECT No.:	REV. #	DATE
	1	
DESIGNED BY: O.M.	2	
	3	
DRAWN BY:	4	
	5	
CHECKED BY: O.M.	6	
	7	
ISSUE DATE: 07-10-2020	8	
	9	
DRAWING SCALE: AS SHOWN	10	

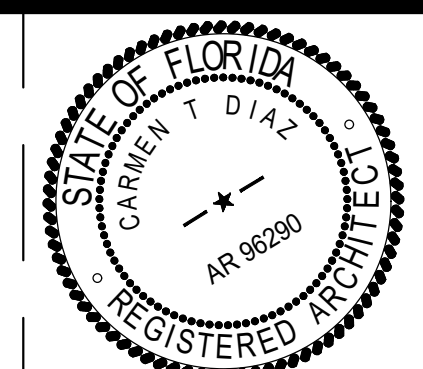
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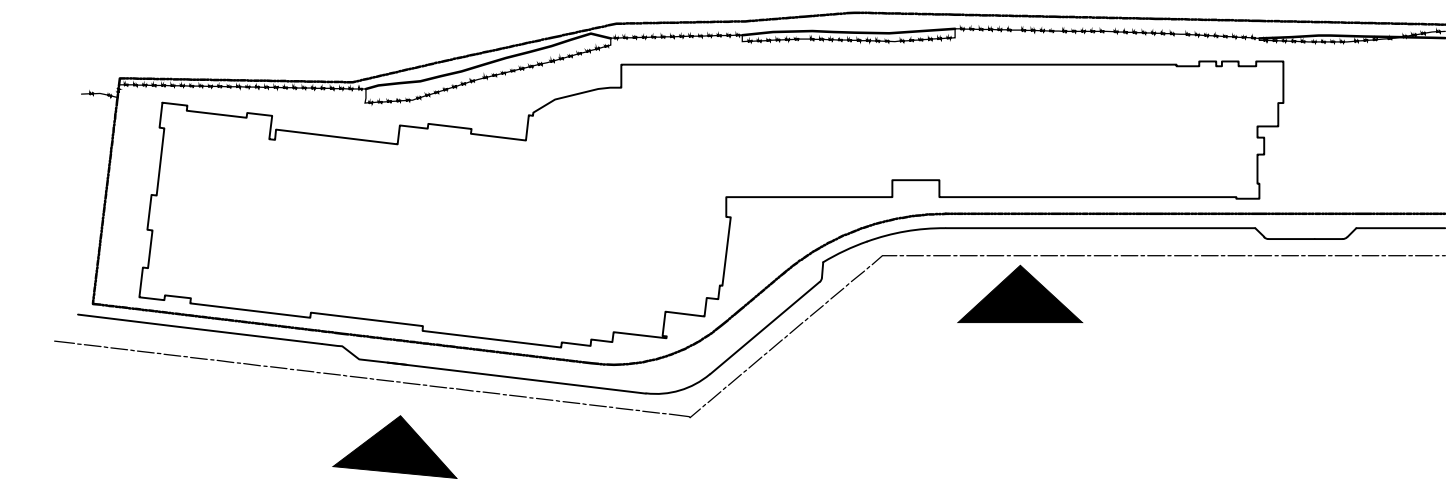
SHEET No.:

A-208

COLOR PALETTE

- 1 BENJAMIN MOOR SILVER SONG (1557)
- 2 BENJAMIN MOOR SUPER WHITE OC-152
- 3 BENJAMIN MOOR AMHERST GRAY HC-167

MATERIAL LEGEND	
KEY VALUE	KEYNOTE DESCRIPTION
01	MASONRY: CMU/CONCRETE SUBSTRATE W/SMOOTH STUCCO FINISH, HIGH BUILD, ACRYLIC WATERPROOFING COATING (THOROCOAT BY BASF BUILDING SYSTEMS, OR ACCEPTABLE EQUIVALENT). COLOR PAINT TO BE SELECTED BY ARCHITECT.
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05	CONCRETE SCORE LINES AT FACADE WALLS
06	42" A.F.F. METAL RAILING ENCLOSURE AT BALCONY & TERRACE
07	ARCHITECTURAL FRAME
08	ALUMINUM SUN CONTROL LOUVER
09	MOTORIZED OVERHEAD COILING DOOR TO MEET WIND LOAD REQUIREMENTS
10	EXTERIOR STAIR AS PEDESTRIAN ACCESS TO BUILDING
11	42" A.F.F ROOF PARAPET



2- KEY PLAN

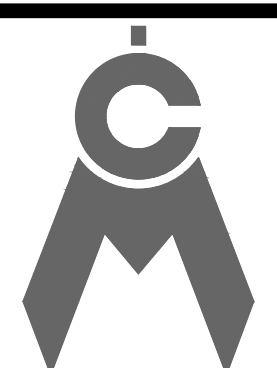


OVERALL ELEVATION - I
SCALE: 1" = 1/20"

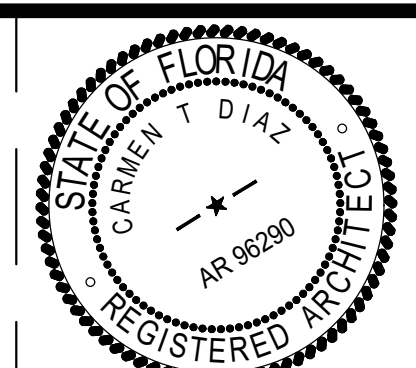
PROJECT No.:	REV. #	DATE
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DESIGNED BY:	O.M.	
	2	
	3	
DRAWN BY:		
	4	
	5	
CHECKED BY:	O.M.	
	6	
	7	
ISSUE DATE:	07-10-2020	
	8	
	9	
DRAWING SCALE:	AS SHOWN	
	10	

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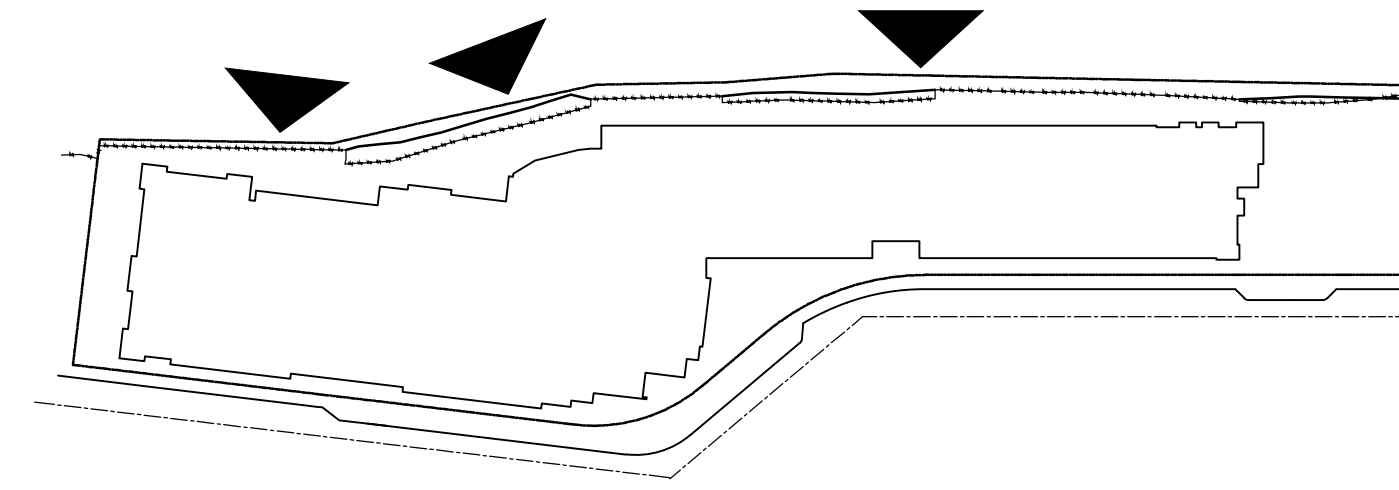
ARCH. CARMEN T. DIAZ
LIC # AR 96290
5001 SW 74th COURT
SUITE 100
MIAMI, FL 33155
TEL (305) 669-5040
FAX (305) 669-5041



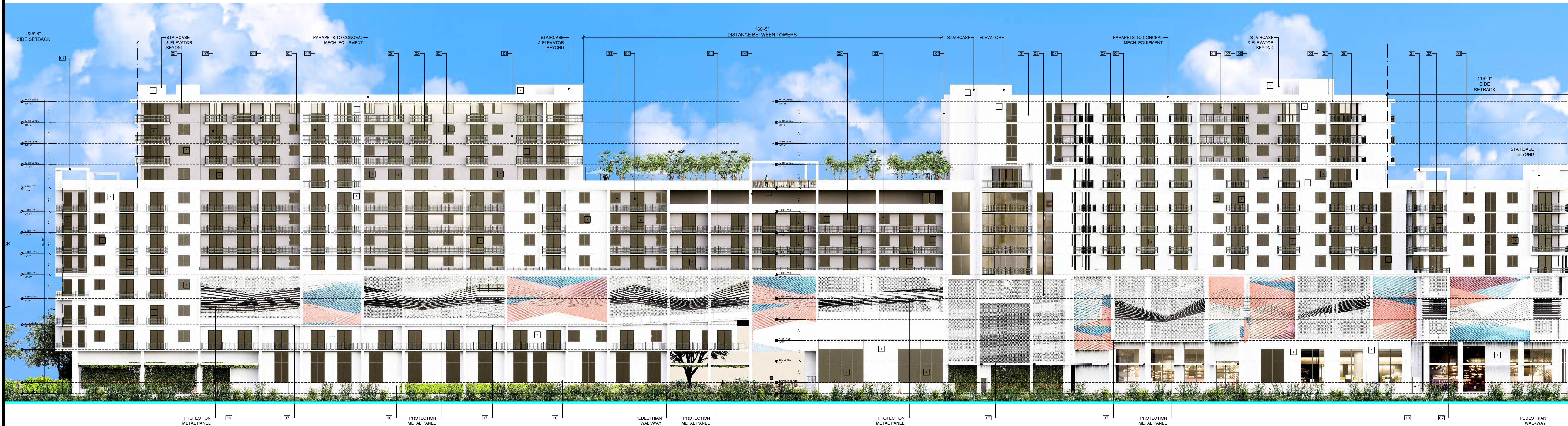
COLOR PALETTE

- 1 BENJAMIN MOOR SILVER SONG (1557)
- 2 BENJAMIN MOOR SUPER WHITE OC-152
- 3 BENJAMIN MOOR AMHERST GRAY HC-167

MATERIAL LEGEND	
KEY VALUE	KEYNOTE DESCRIPTION
01	MASONRY: CMU/CONCRETE SUBSTRATE W/SMOOTH STUCCO FINISH, HIGH BUILD, ACRYLIC WATERPROOFING COATING (THOROCOAT BY BASF BUILDING SYSTEMS, OR ACCEPTABLE EQUIVALENT). COLOR PAINT TO BE SELECTED BY ARCHITECT.
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03	ALUMINUM WINDOW ASSEMBLY, W/ LAMINATED TINTED GLASS W/ A HIGH PERFORMANCE COATING; TO MEET WIND LOAD REQUIREMENTS. PROVIDE SAMPLES TO ARCHITECT FOR REVIEW.
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06	42" A.F.F. METAL RAILING ENCLOSURE AT BALCONY & TERRACE
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08	ALUMINUM SUN CONTROL LOUVER
09	MOTORIZED OVERHEAD COILING DOOR, TO MEET WIND LOAD REQUIREMENTS
10	EXTERIOR STAIR AS PEDESTRIAN ACCESS TO BUILDING
11	42" A.F.F. ROOF PARAPET



2- KEY PLAN



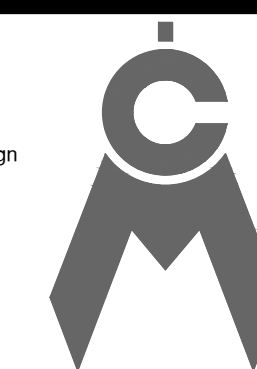
OVERALL ELEVATION - J
SCALE: 1" = 1/20"

PROJECT No.:	REV. #	DATE
DESIGNED BY:	O.M.	
DRAWN BY:		
CHECKED BY:	O.M.	
ISSUE DATE:	07-10-2020	
DRAWING SCALE:	AS SHOWN	

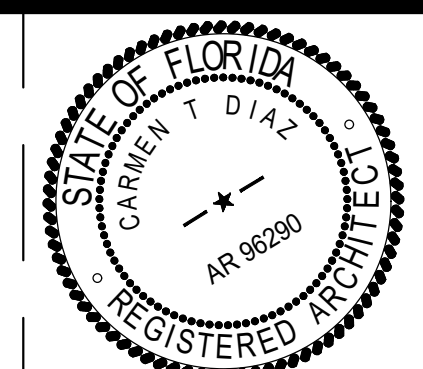
1010 SPRING GARDEN

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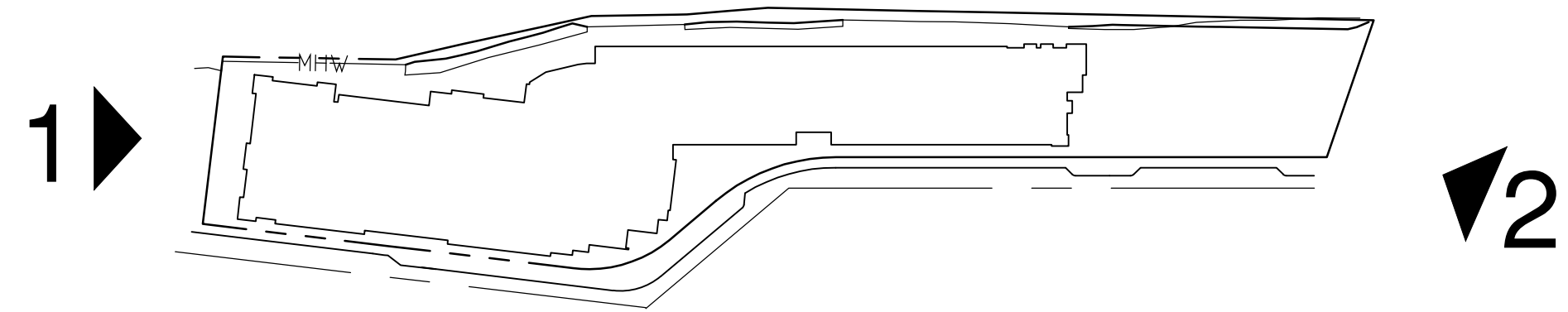


SHEET No.:

A-210



3D VIEW -1



KEY PLAN
SCALE: 1"= 1/128"



3D VIEW -2

PROJECT No.:	REV. #	DATE
	1	
	2	
DESIGNED BY:	O.M.	
	3	
	4	
DRAWN BY:		
	5	
CHECKED BY:	O.M.	
	6	
	7	
ISSUE DATE:	07-10-2020	
	8	
	9	
DRAWING SCALE:	AS SHOWN	
	10	

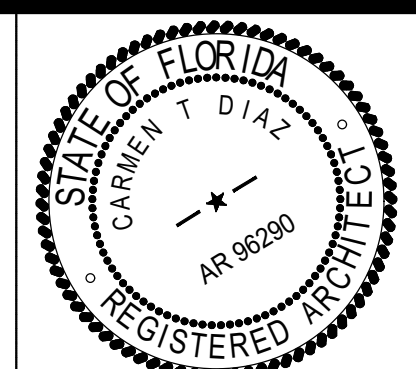
1010 SPRING GARDEN

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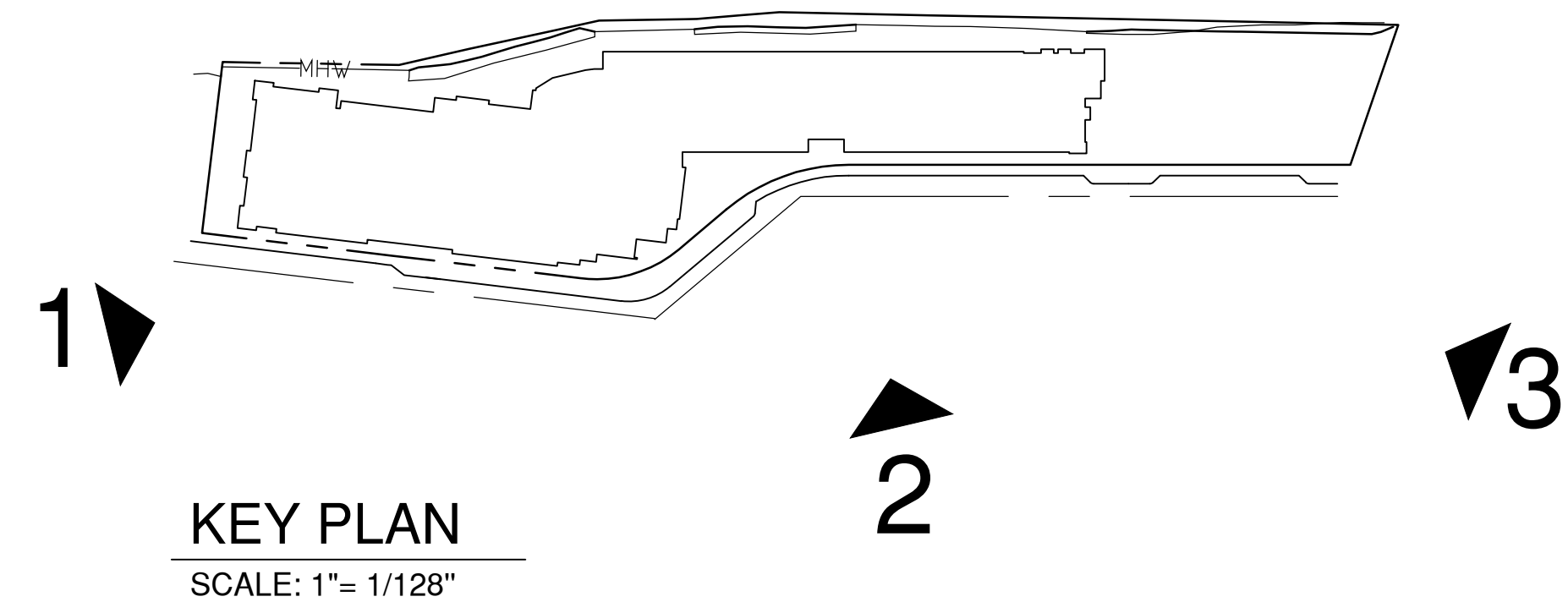


SHEET No.:

R-1



3D VIEW -1



3D VIEW -2



3D VIEW -3

PROJECT No.:	REV. #	DATE
	1	
	2	
DESIGNED BY:	O.M.	
	3	
	4	
DRAWN BY:		
	5	
CHECKED BY:	O.M.	
	6	
	7	
ISSUE DATE:	07-10-2020	
	8	
	9	
DRAWING SCALE:	AS SHOWN	10

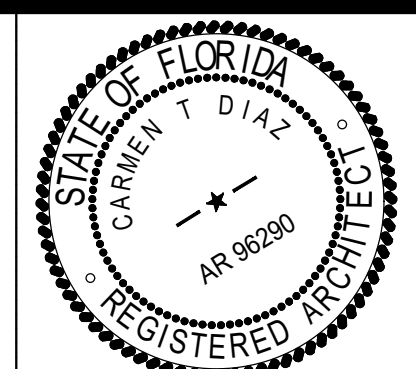
1010 SPRING GARDEN

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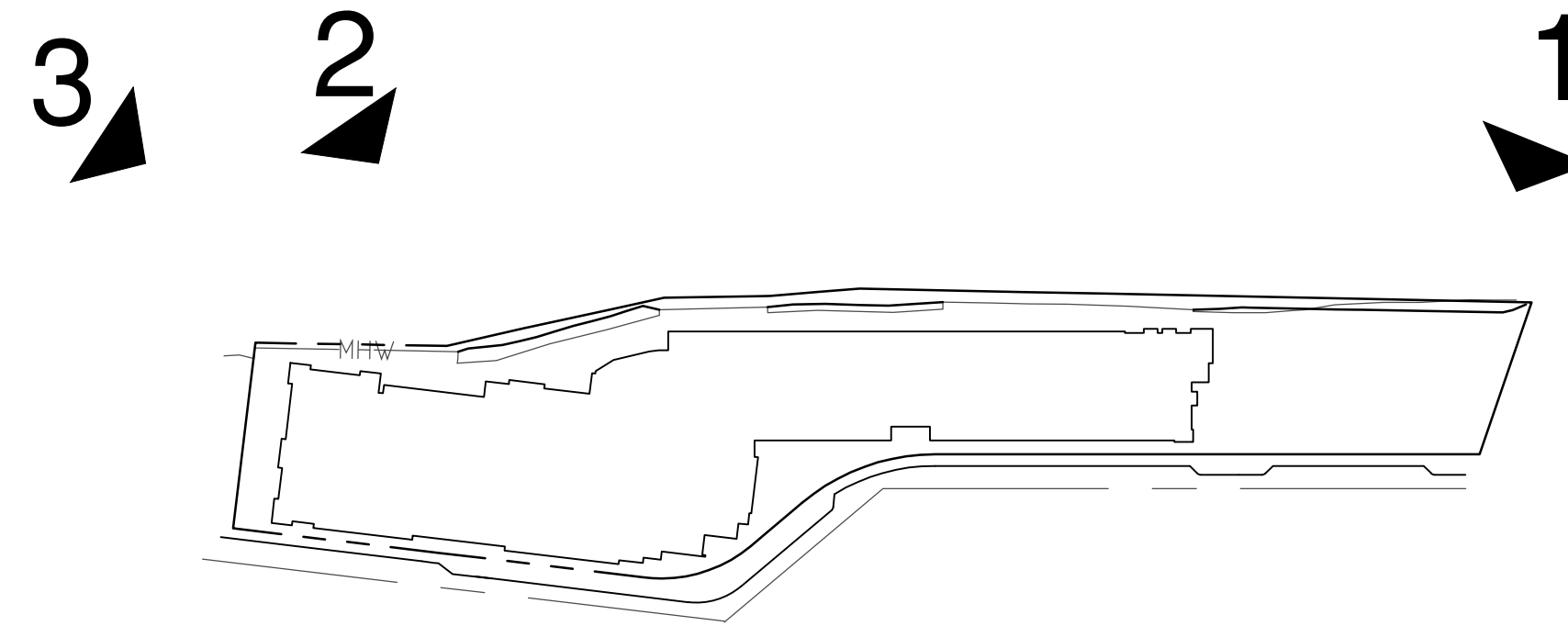


SHEET No.:

R-2



3D VIEW -1



KEY PLAN
SCALE: 1"= 1/128"



3D VIEW -2



3D VIEW -3

PROJECT No.:	REV. #	DATE
	1	
	2	
DESIGNED BY:	O.M.	
	3	
	4	
DRAWN BY:		
	5	
CHECKED BY:	O.M.	
	6	
	7	
ISSUE DATE:	07-10-2020	
	8	
	9	
DRAWING SCALE:	AS SHOWN	10

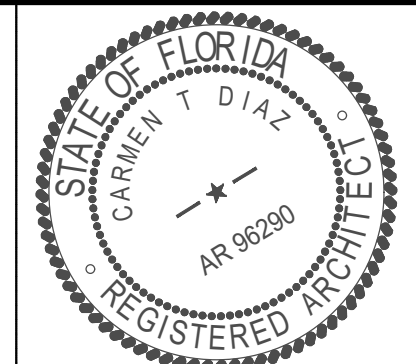
1010 SPRING GARDEN

MIAMI, FL. 33136

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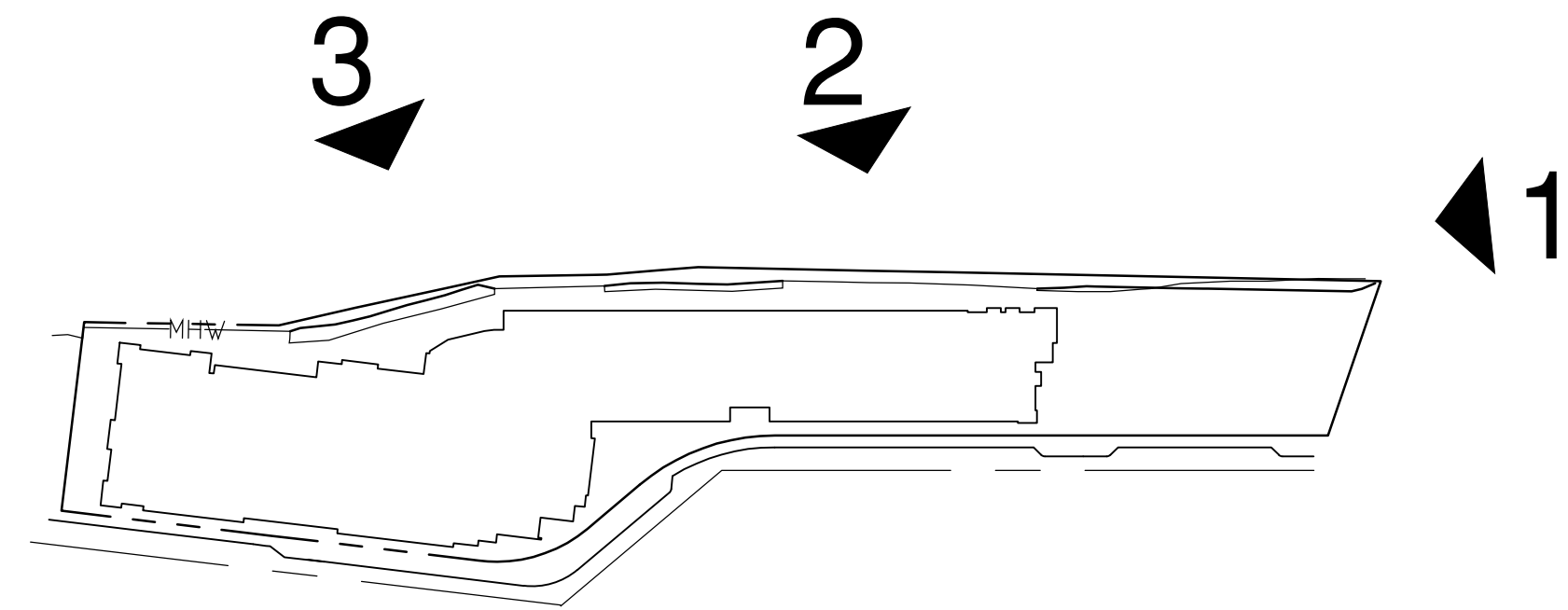


SHEET No.:

R-3



3D VIEW -1 PEDESTRIAN 3D VIEW (FREE-STANDING WALL)



KEY PLAN
SCALE: 1"= 1/128"



3D VIEW -2 PEDESTRIAN 3D VIEW (FREE-STANDING WALL)



3D VIEW -3 PEDESTRIAN 3D VIEW (FREE-STANDING WALL)

PROJECT No.:	REV. #	DATE
	1	
	2	
DESIGNED BY:	O.M.	
	3	
	4	
DRAWN BY:		
	5	
CHECKED BY:	O.M.	
	6	
	7	
ISSUE DATE:	07-10-2020	
	8	
	9	
DRAWING SCALE:	AS SHOWN	
	10	

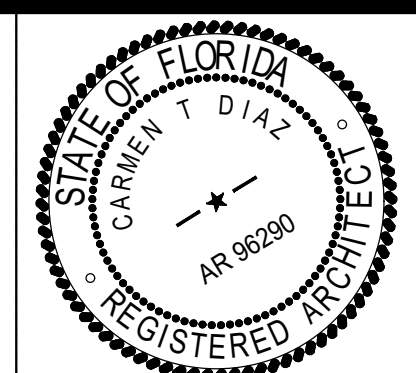
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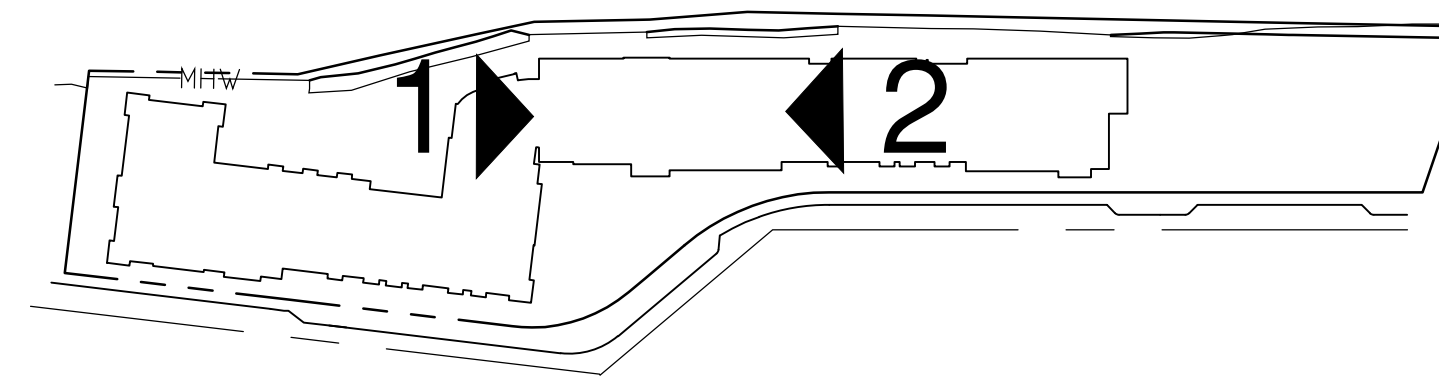


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SHEET No.:

R-4



KEY PLAN
SCALE: 1"= 1/128"



3D VIEW -1



3D VIEW -2

PROJECT No.:	REV. #	DATE
	1	
	2	
DESIGNED BY:	O.M.	
	3	
	4	
DRAWN BY:		
	5	
CHECKED BY:	O.M.	
	6	
	7	
ISSUE DATE:	07-10-2020	
	8	
	9	
DRAWING SCALE:	AS SHOWN	10

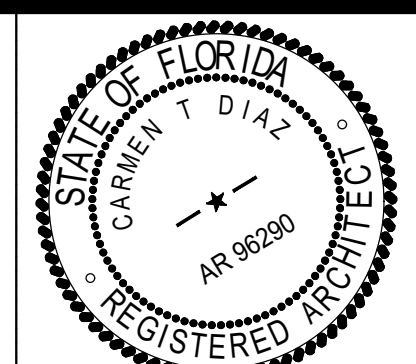
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SHEET No:

R-5

